

1 DEMOLITION FLOOR PLAN  
A-1 SCALE: 1/4" = 1'-0"

#### GENERAL NOTES FOR AREAS OF WORK (DEMOLITION / NEW CONSTRUCTION)

- GENERAL NOTES APPLY TO ENTIRE DRAWING SET.
- PROTECT ALL EXISTING CONSTRUCTION AND FINISHES TO REMAIN. RESTORE ANY DAMAGE TO EXISTING CONDITION AND REPAIR FLOOR, WALL, AND CEILING CONSTRUCTION AFFECTED BY DEMOLITION AND NEW WORK (INCLUDING ITEMS SUCH AS BUT NOT LIMITED TO ABANDONED AND NEW PLUMBING LINES, ELECTRICAL, AND MECHANICAL WORK). FILL AND SEAL ALL PENETRATIONS (NEW AND OLD) TO MAINTAIN FIRE RATING. PATCH / REPAIR AND PREPARE FOR NEW FINISHES WHERE SPECIFIED.
  - REMOVE ANY EXISTING FINISHES AS REQUIRED TO ACCOMMODATE NEW FINISHES INDICATED. PREPARE / PRIME SURFACES PRIOR TO APPLYING NEW FINISHES. REFER TO SPECIFICATIONS FOR PREPARATION INFORMATION, INCLUDING BUT NOT LIMITED TO: PREPARING EXISTING / NEW SURFACES FOR NEW FINISHES (I.E. METAL SURFACES, GYPSUM BOARD, CONCRETE).
  - EXISTING AREAS REQUIRING PARTIAL DEMOLITION OR MODIFICATION TO SUIT NEW WORK ARE TO BE REPAIRED AND COMPLETED TO PROVIDE A FINISHED APPEARANCE MATCHING REMAINING PORTION.
  - THIS BUILDING IS CLASSIFIED AS 322.2b (BCBC 2018) AND REQUIRES A FIRE SEPARATION W/ FIRE RESISTANCE RATING OF 45 MINUTES AS BUILDING IS COMPOSED OF COMBUSTIBLE CONSTRUCTION. IN AREA OF WORK, CONTRACTOR TO ENSURE THE FOLLOWING:
    - THE UNDERSIDE OF EXISTING COMBUSTIBLE ROOF STRUCTURE THAT IS EXPOSED DUE TO NEW CONSTRUCTION IS CLAD WITH 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD COMPLETE WITH SOLID BLOCKING AT ALL JOINTS, AND FIRE TAPED TO MAINTAIN A FIRE RESISTANCE RATING OF 1 HOUR. REFER TO CEILING TYPES.
    - EXISTING COMBUSTIBLE LOAD BEARING WALLS THAT ARE EXPOSED DUE TO NEW CONSTRUCTION ARE CLAD WITH 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES AND FIRE TAPED TO MAINTAIN A FIRE RESISTANCE RATING OF 1 HOUR. REFER TO WALL TYPES.
  - CORRIDOR USED BY THE PUBLIC IN AN ASSEMBLY OCCUPANCY AS AN ACCESS TO EXIT SHALL BE SEPARATE FROM THE REMAINDER OF THE FLOOR AREA BY A FIRE SEPARATION W/ A FIRE RESISTANCE RATING OF 1 HOUR. REFER TO WALL TYPES.
  - PROVIDE SOLID BLOCKING IN WALLS WHERE REQUIRED FOR ALL ACCESSORY LOCATIONS, GRAB BARS, AND WALL STOPS (EXCEPT WHERE NOTED OTHERWISE). INSTALL EDGE BLOCKING WHERE REQUIRED FOR INSTALLATION OF NEW GYPSUM BOARD - SEE B/A-10 TYPICAL. PATCH EXISTING GYPSUM BOARD AS REQUIRED TO SUIT BLOCKING REQUIREMENTS.
  - RELOCATE OR REMOVE/REINSTALL ANY MECHANICAL, ELECTRICAL, CONTROL, DATA, OR SOUND ITEMS (EQUIPMENT, PLUMBING, GRILLES, DIFFUSERS, FIXTURES, OUTLETS, SWITCHES, DEVICES, CONDUITS, ETC.) REQUIRED TO ACCOMMODATE NEW WORK. NEW FINISHES TO BE APPLIED PRIOR TO REINSTALLATION. CONSULT ARCHITECT SHOULD QUESTIONS ARISE. COORDINATE ALL WORK WITH MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS.
  - PROVIDE PENETRATION FIRESTOPPING AS REQUIRED BY BCBC 2018. MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS ARE TO BE SEALED BY A FIRE STOP SYSTEM THAT WHEN SUBJECTED TO THE FIRE TEST METHOD IN CANULC-515 "FIRE TESTS OF FIRESTOP SYSTEMS" HAS AN F RATING NOT LESS THAN THE FIRE-PROTECTION RATING REQUIRED FOR CLOSURES IN THE FIRE SEPARATION IN CONFORMANCE WITH BCBC 2018 TABLE 3.18.4. MINIMUM FIRE PROTECTION RATING OF CLOSURE (F RATING) AS PER CODE TO BE 45 MINUTES. PROVIDE TO CONSULTANTS FIRE STOP SYSTEMS TAILORED TO SPECIFIC CONDITIONS ENCOUNTERED ON SITE FOR REVIEW/APPROVAL PRIOR TO WORK BEING CARRIED OUT ON SITE.
  - PROVIDE KING AND JACK STUDS AS REQUIRED FOR NEW HEADERS - SEE DETAIL 9 E/A-10, E/A-10, F/A-10 AND F/A-10.
  - DIMENSIONS ARE FROM / TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
  - IN NEW CONSTRUCTION PROVIDE 'DENS-SHIELD' TILE BACKER IN PLACE OF GYPSUM BOARD FOR NEW TILED WALL AREAS. SEE WALL TYPES ON A-2 AND SPECIFICATIONS.
  - USE TREATED WOOD ON CONCRETE FLOORS AND ANY WOOD IN CONTACT WITH CONCRETE.
  - PROTECT ALL ITEMS TO BE REMOVED AND REINSTALLED / RELOCATED OR SALVAGED TO OWNER. ALL REUSED / SALVAGED ITEMS USED IN NEW CONSTRUCTION MUST BE IN GOOD CONDITION, CLEANED AND BE DEEMED ACCEPTABLE BY CONSULTANT.
  - CONTRACTOR TO DEMOLISH EXISTING FLOOR SLAB AS REQUIRED TO ACCESS EXISTING UNDER SLAB PIPING AND HVAC AS WELL AS TO PROVIDE A POSITIVE SLOPE TO ALL NEW FLOOR DRAIN LOCATIONS. SEE PLUMBING DRAWINGS A-6.
  - UPDATE DIRECTORY AT EXISTING ELECTRICAL PANELS AS REQUIRED.
  - RECESSED ELECT PANEL 'S' SERVING RENOVATION AREA LOCATED IN STAIR 133. REFER TO COVER SHEET FOR APPROXIMATE LOCATION OF EXISTING ELECTRICAL PANEL. CONFIRM ON SITE LOCATION OF ALL ELECTRICAL PANELS AFFECTED BY DEMOLITION AND NEW WORKS PRIOR TO WORK COMMENCING.
  - ENSURE ELECTRICAL IS DISCONNECTED PRIOR TO ANY DEMOLITION WORK THAT INVOLVES ELECTRICAL EQUIPMENT.
  - OWNER TO OBTAIN AND PAY FOR THE BUILDING PERMIT. CONTRACTOR TO OBTAIN ALL OTHER PERMITS SUCH AS BUT NOT LIMITED TO (PLUMBING, MECHANICAL AND ELECTRICAL) INCLUDING FEES AS NECESSARY TO COMPLETE THIS WORK. COORDINATE WITH LOCAL AUTHORITY FOR REQUIRED INSPECTIONS. REFER TO SPECIFICATIONS.
  - ANY ERRORS / OMISSIONS / CONFLICTS WITH AS-BUILT INFORMATION TO BE REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
  - EPOXY PAINT REQUIRED TO WASHROOM WALLS WHERE NOTED AS PAINT FINISH. SEE SPECIFICATIONS.
  - ANY/ALL TEMPORARY SHORING / BRACING SHALL BE THE CONTRACTORS RESPONSIBILITY.
  - UPDATE FIRE ALARM DIRECTORY AFTER REMOVAL OF EXISTING DEVICES AND ADDITION OF NEW DEVICES. ALLOW FOR RE-VERIFICATION / CERTIFICATION TO MEET LOCAL JURISDICTION REQUIREMENTS DUE TO MODIFICATIONS.
  - EXISTING FIRE ALARM PANEL IS FIRE SHIELD MODEL \*F5502(GXGD)RX(RD) - 120V, 60HZ, 0.8A. REFER TO COVER SHEET FOR APPROXIMATE LOCATION OF EXISTING FIRE PANEL (ELECT. ROOM 120).
  - EXISTING FIRE PANEL SERVICE CONTRACTOR IS TROY LIFE & FIRE SAFETY LTD.: 1-877-441-(TROY).

#### DEMOLITION KEY NOTES

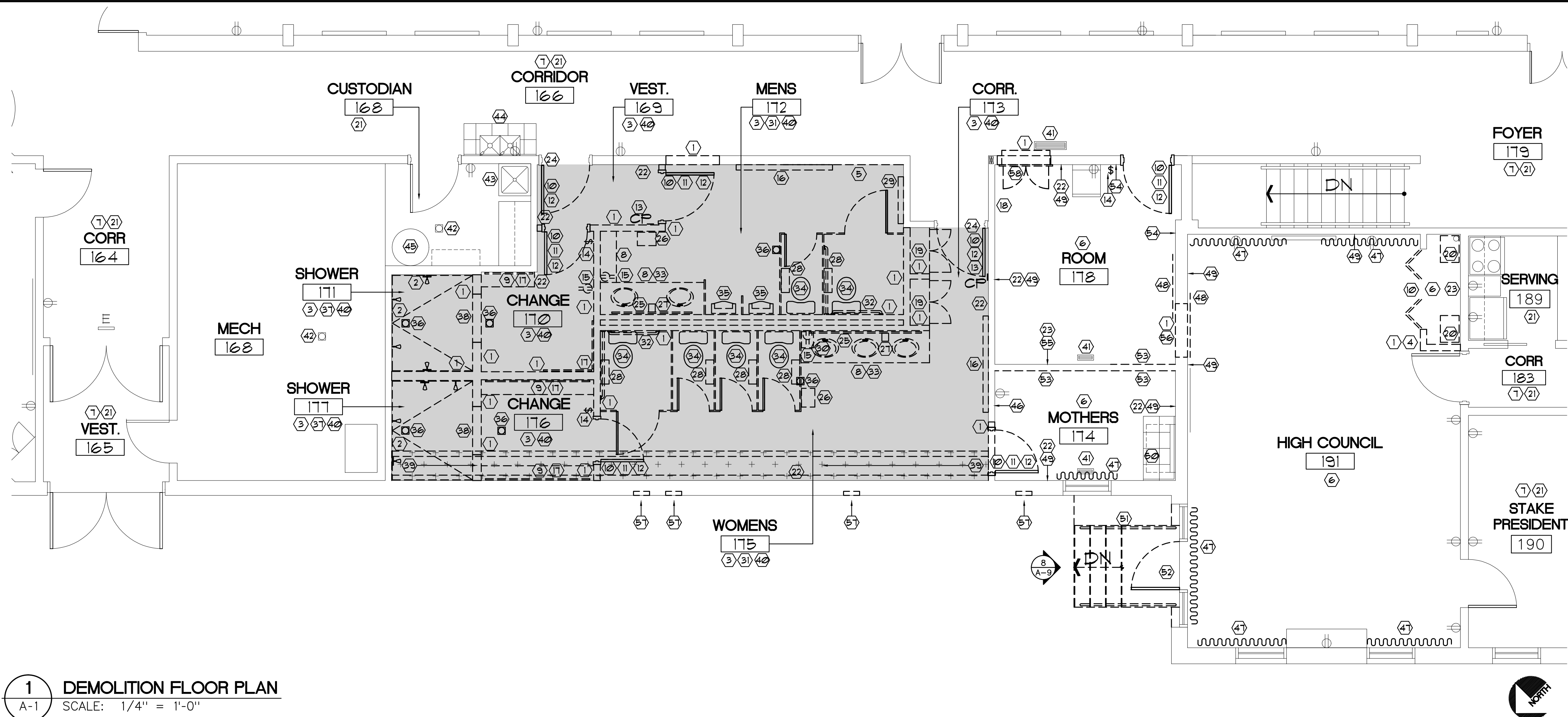
KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

- REMOVE EXISTING FRAMED STUD WALL C/W GYPSUM BOARD AND FINISHES AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO GAIN ACCESS TO EXISTING PIPING.
- REMOVE EXISTING 1" MOSAIC FLOOR TILE AND TILE BASE TO SUIT NEW LAYOUT.
- REMOVE EXISTING 4" CARPET BASE.
- REMOVE EXISTING GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO ALLOW INSTALL OF NEW 5/8" TYPE 'X' 'DENS-SHIELD' TILE BACKER.
- PROTECT CARPET TO REMAIN OR REMOVE EXISTING CARPET AND CARPET BASE AS REQUIRED TO SUIT NEW LAYOUT. SALVAGE BOTH TO OWNER FOR RE-USE IN NEW CONFIGURATION.
- PROTECT CARPET TO REMAIN.
- REMOVE EXISTING MILLWORK COUNTER INCLUDING BRACKET SUPPORTS.
- REMOVE EXISTING MILLWORK BENCH INCLUDING BRACKET SUPPORTS.
- REMOVE EXISTING DOOR AND HARDWARE. SALVAGE ROOM SIGNAGE PLATE (WHERE OCCURS) FOR REUSE AND WORKING HARDWARE TO OWNER.
- REMOVE EXISTING PAINTED HM DOOR FRAME.
- REMOVE EXISTING FLOOR AND/OR WALL STOP AND SAVE FOR REINSTALL AT NEW LOCATION AS PER NEW FLOOR PLAN.
- REMOVE EXISTING COVER PLATE (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
- REMOVE EXISTING LIGHT CONTROL SWITCH AND/OR SENSOR (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
- REMOVE EXISTING OUTLET (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
- REMOVE EXISTING ELECTRIC RADIATION CABINET ASSEMBLY (INCLUDING CONDUIT AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT (IF SHOWN AS RELOCATED). SALVAGE ELECTRIC RADIATION CABINET ASSEMBLY FOR REUSE IN NEW LAYOUT.
- REMOVE EXISTING WALL MOUNT COAT HOOK / WOOD TRIM ASSEMBLIES AND SALVAGE TO OWNER.
- OPEN EXISTING WALL AS REQUIRED TO SUIT NEW WALL STOP BLOCKING.
- REMOVE EXISTING WOOD STORAGE CABINET ASSEMBLY. SALVAGE OPERATING HARDWARE TO OWNER.
- REMOVE EXISTING SHELVING ASSEMBLY.
- EXISTING FINISHES TO REMAIN UNLESS DETAILED OTHERWISE.
- SAND AND PREPARE EXISTING GYPSUM BOARD FOR NEW PAINTED FINISH (CORNER TO CORNER) AS REQUIRED TO SUIT NEW LAYOUT.
- SAND AND PREPARE EXISTING GYPSUM BOARD FOR NEW PAINT AND SISAL FINISH AS REQUIRED TO SUIT NEW LAYOUT.
- SAND AND PREPARE (BONDO) EXISTING METAL DOOR FRAME FOR NEW PAINTED FINISH AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING MIRROR AND PREPARE FOR NEW MIRROR IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE.
- REMOVE EXISTING PAPER TOWEL DISPENSER AND SALVAGE FOR RE-INSTALLATION IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE.
- REMOVE EXISTING TOILET PAPER DISPENSER. SALVAGE FOR RE-INSTALLATION IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE.
- REMOVE EXISTING BABY CHANGE STATION AND SALVAGE FOR RE-INSTALLATION IN NEW LAYOUT.
- REMOVE EXISTING 6.8. SHELVEING AND SALVAGE TO OWNER.
- REMOVE EXISTING TOILET / URINAL PARTITIONS.
- REMOVE EXISTING GRAB BARS AND SALVAGE TO OWNER.
- REMOVE EXISTING LAVATORY, FAUCET, SUPPLY, VENT, TRAP, WASTE PIPING, AND FITTINGS AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING TOILET INCLUDING SUPPLY, WASTE, VENT PIPING, WAX SEAL, AND FLANGE AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING WALL MOUNTED URINAL INCLUDING FLUSH VALVE, SUPPLY, WASTE, AND VENT PIPING AS REQUIRED TO SUIT NEW LAYOUT. SALVAGE FLUSH VALVE TO OWNER.
- REMOVE EXISTING FLOOR DRAIN INCLUDING DEEP SEAL TRAP AND WASTE LINE AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING SHOWER FAUCET AND SUPPLY CONTROLS INCLUDING PIPING AND PROPERLY TERMINATE AT MAIN WATER SOURCE.
- REMOVE EXISTING CONC. TILED CURB AS REQ'D. TO SUIT NEW LAYOUT.
- APPROXIMATE LOCATION OF EXISTING UNDER SLAB 14" DIA. RETURN AIR DUCT IN 4" MINIMUM CONCRETE ENCASEMENT (TOP SIDE) AND 4" MINIMUM PEA GRAVEL / SAND FILL ENCASEMENT (BOTTOM SIDE). REMOVE EXISTING RETURN AIR DUCT ASSEMBLY FROM APPROX. EXTENTS SHOWN TO SUIT NEW BELOW SLAB RETURN AIR DUCT ASSEMBLY INFILL. SEE DETAIL K/A-10.
- LOCATION OF EXISTING 4" REINFORCED CONCRETE FLOOR REQUIRED TO BE REMOVED TO ALLOW NEW CONC. FLOOR / TOPPING AND TO ACCESS EXISTING UNDER SLAB PIPING (TO BE MODIFIED TO SUIT NEW PIPING LAYOUT). IN REMOVAL PROCESS, ACCOUNT FOR EXISTING TOPPING ABOVE REINFORCED CONCRETE SLAB AT AREAS SUCH AS BUT NOT LIMITED TO SHOWER AREA. SEE NEW PLUMBING DUG'S A-6.

- EXISTING RETURN AIR FLOOR GRILLE TO REMAIN.
- EXISTING FLOOR DRAIN TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.
- EXISTING MOP SINK TO REMAIN.
- EXISTING WATER FOUNTAIN TO REMAIN.
- EXISTING HOT WATER TANK TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.
- REMOVE EXISTING CHAIR RAIL AND SISAL. PREPARE EXISTING WALL FOR NEW PAINT FINISH, CHAIR RAIL, SISAL AND CARPET BASE DUE TO WALL AND DOOR MODIFICATIONS.
- REMOVE EXISTING WALL MOUNTED DRAPERY TRACK ASSEMBLY AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER WALL PAINTING, CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS (ROOM 191). SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING DISPLAY BOARD AND SALVAGE TO OWNER OR FOR REINSTALLATION AS DETAILED.
- EXISTING SISAL AND CHAIR RAIL TO REMAIN. PROTECT FROM DAMAGE. MODIFY EXISTING CHAIR RAIL / SISAL TO ACCEPT NEW LAYOUT AS REQUIRED.
- EXISTING FLOOR AND WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- REMOVE EXISTING PRECAST CONCRETE STAIR, PRECAST CONCRETE BRACKET SUPPORT AT UNDERSIDE, RAIL ASSEMBLY AND CAST IN PLACE CONCRETE PAD INFILL.
- REMOVE EXISTING EXTERIOR ANODIZED ALUMINUM DOOR SLAB. PREPARE FOR ANODIZED ALUMINUM FRAME MODIFICATION TO ACCEPT NEW WINDOW ASSEMBLY INFILL.
- REMOVE EXISTING FINISHES AND GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO ALLOW INSTALL OF NEW 2 LAYERS 1/2" TYPE 'X'.
- REMOVE EXISTING CHAIR RAIL AND SISAL. PREPARE EXISTING WALL FOR NEW PAINT FINISH AND CARPET BASE.
- REMOVE EXISTING GYPSUM BOARD, CHAIR RAIL AND SISAL AS REQUIRED TO ALLOW NEW BLOCKING FOR NEW MILLWORK COUNTER AND OVERHEAD SHELVEING.
- NEW DOOR POSITION BASED ON LOCATION OF FORMER DOOR ROUGH OPENING (R.O.) CLOSED IN BY PRIOR RENOVATIONS. VERIFY ACTUAL R.O. ON SITE AND COORDINATE WITH NEW DOOR POSITION. IF ON SITE VERIFIED FORMER R.O. IS DIFFERENT, CONTACT ARCHITECT TO DISCUSS IF MINOR DOOR POSITION SHIFT IS ACCEPTABLE OR IF WALL FRAMING MODIFICATIONS ARE REQUIRED TO ACCEPT NEW DOOR AS SHOWN.
- REMOVE PORTION OF EXTERIOR MASONRY AS REQUIRED TO ALLOW NEW EXTERIOR WALL EXHAUST LOUVERS. SEE DETAIL M/A-10.
- REMOVE EXISTING MILLWORK DISPLAY CABINET AND FINISHES AS REQUIRED TO SUIT NEW DOOR OPENING.

MARK	DATE	REVISION
ARCHITECT		
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CONSULTANTS		
MECHANICAL / ELECTRICAL Acorn Consulting Engineering Group Ltd. 1921-10th Avenue S.W. Calgary, Alberta T3C 0K3 (403) 228-2827		
STAMP		
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PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME CRANBROOK 1,2,& CRANBROOK BRITISH COLUMBIA STAKE PROJECT ADDRESS 2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4		
SHEET TITLE DEMOLITION FLOOR PLAN		
PROJECT DESIGNATION 510-5234-1802-0101		
EZA NUMBER 18101	SHEET NO. A-1	
CNA WORK ORDER FBW24586	DATE MAR 2019	





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  - UPDATE DIRECTORY AT EXISTING ELECTRICAL PANELS AS REQUIRED.
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#### DEMOLITION KEY NOTES

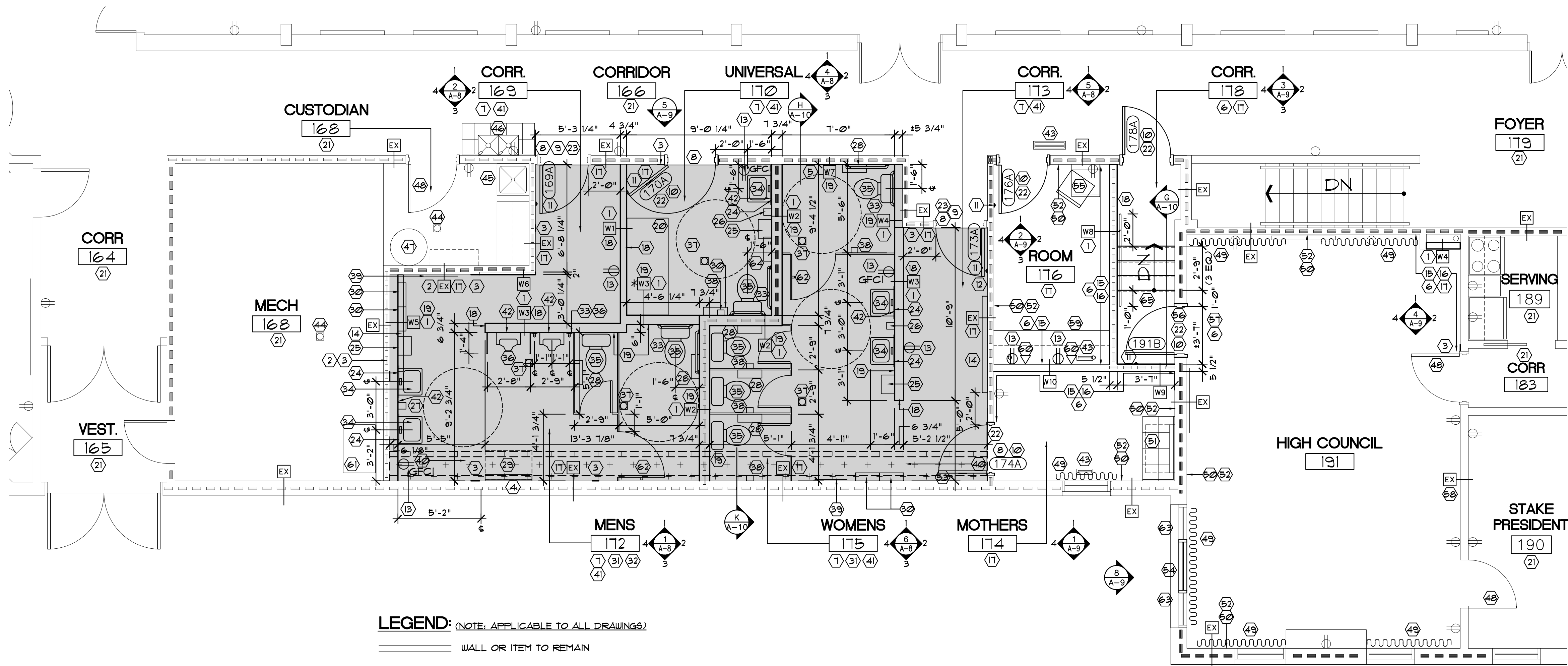
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- REMOVE GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO GAIN ACCESS TO EXISTING PIPING.
- REMOVE EXISTING 1" MOSAIC FLOOR TILE AND TILE BASE TO SUIT NEW LAYOUT.
- REMOVE EXISTING 4" CARPET BASE.
- REMOVE EXISTING GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO ALLOW INSTALL OF NEW 5/8" TYPE 'X' 'DENS-SHIELD' TILE BACKER.
- PROTECT CARPET TO REMAIN OR REMOVE EXISTING CARPET AND CARPET BASE AS REQUIRED TO SUIT NEW LAYOUT. SALVAGE BOTH TO OWNER FOR RE-USE IN NEW CONFIGURATION.
- PROTECT CARPET TO REMAIN.
- REMOVE EXISTING MILLWORK COUNTER INCLUDING BRACKET SUPPORTS.
- REMOVE EXISTING MILLWORK BENCH INCLUDING BRACKET SUPPORTS.
- REMOVE EXISTING DOOR AND HARDWARE. SALVAGE ROOM SIGNAGE PLATE (WHERE OCCURS) FOR REUSE AND WORKING HARDWARE TO OWNER.
- REMOVE EXISTING PAINTED HM DOOR FRAME.
- REMOVE EXISTING FLOOR AND/OR WALL STOP AND SAVE FOR REINSTALL AT NEW LOCATION AS PER NEW FLOOR PLAN.
- REMOVE EXISTING COVER PLATE (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
- REMOVE EXISTING LIGHT CONTROL SWITCH AND/OR SENSOR (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
- REMOVE EXISTING OUTLET (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED AND TERMINATE BACK TO SOURCE TO SUIT NEW LAYOUT.
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- REMOVE EXISTING WALL MOUNT COAT HOOK / WOOD TRIM ASSEMBLIES AND SALVAGE TO OWNER.
- OPEN EXISTING WALL AS REQUIRED TO SUIT NEW WALL STOP BLOCKING.
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- REMOVE EXISTING GRAB BARS AND SALVAGE TO OWNER.
- REMOVE EXISTING LAVATORY, FAUCET, SUPPLY, VENT, TRAP, WASTE PIPING, AND FITTINGS AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING TOILET INCLUDING SUPPLY, WASTE, VENT PIPING, WAX SEAL, AND FLANGE AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING WALL MOUNTED URINAL INCLUDING FLUSH VALVE, SUPPLY, WASTE, AND VENT PIPING AS REQUIRED TO SUIT NEW LAYOUT. SALVAGE FLUSH VALVE TO OWNER.
- REMOVE EXISTING FLOOR DRAIN INCLUDING DEEP SEAL TRAP AND WASTE LINE AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING SHOWER FAUCET AND SUPPLY CONTROLS INCLUDING PIPING AND PROPERLY TERMINATE AT MAIN WATER SOURCE.
- REMOVE EXISTING CONC. TILED CURB AS REQ'D. TO SUIT NEW LAYOUT.
- APPROXIMATE LOCATION OF EXISTING UNDER SLAB 14" DIA. RETURN AIR DUCT IN 4" MINIMUM CONCRETE ENCASEMENT (TOP SIDE) AND 4" MINIMUM PEA GRAVEL / SAND FILL ENCASEMENT (BOTTOM SIDE). REMOVE EXISTING RETURN AIR DUCT ASSEMBLY FROM APPROX. EXTENTS SHOWN TO SUIT NEW BELOW SLAB RETURN AIR DUCT ASSEMBLY INFILL. SEE DETAIL K/A-10.
- LOCATION OF EXISTING 4" REINFORCED CONCRETE FLOOR REQUIRED TO BE REMOVED TO ALLOW NEW CONC. FLOOR / TOPPING AND TO ACCESS EXISTING UNDER SLAB PIPING (TO BE MODIFIED TO SUIT NEW PIPING LAYOUT). IN REMOVAL PROCESS, ACCOUNT FOR EXISTING TOPPING ABOVE REINFORCED CONCRETE SLAB AT AREAS SUCH AS BUT NOT LIMITED TO SHOWER AREA. SEE NEW PLUMBING DUG'S A-6.

- EXISTING RETURN AIR FLOOR GRILLE TO REMAIN.
- EXISTING FLOOR DRAIN TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.
- EXISTING MOP SINK TO REMAIN.
- EXISTING WATER FOUNTAIN TO REMAIN.
- EXISTING HOT WATER TANK TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.
- REMOVE EXISTING CHAIR RAIL AND SISAL. PREPARE EXISTING WALL FOR NEW PAINT FINISH, CHAIR RAIL, SISAL AND CARPET BASE DUE TO WALL AND DOOR MODIFICATIONS.
- REMOVE EXISTING WALL MOUNTED DRAPERY TRACK ASSEMBLY AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER WALL PAINTING, CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS (ROOM 191). SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING DISPLAY BOARD AND SALVAGE TO OWNER OR FOR REINSTALLATION AS DETAILED.
- EXISTING SISAL AND CHAIR RAIL TO REMAIN. PROTECT FROM DAMAGE. MODIFY EXISTING CHAIR RAIL / SISAL TO ACCEPT NEW LAYOUT AS REQUIRED.
- EXISTING FLOOR AND WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- REMOVE EXISTING PRECAST CONCRETE STAIR, PRECAST CONCRETE BRACKET SUPPORT AT UNDERSIDE, RAIL ASSEMBLY AND CAST IN PLACE CONCRETE PAD INFILL.
- REMOVE EXISTING EXTERIOR ANODIZED ALUMINUM DOOR SLAB. PREPARE FOR ANODIZED ALUMINUM FRAME MODIFICATION TO ACCEPT NEW WINDOW ASSEMBLY INFILL.
- REMOVE EXISTING FINISHES AND GYPSUM BOARD FROM EXISTING WALL AS REQUIRED TO ALLOW INSTALL OF NEW 2 LAYERS 1/2" TYPE 'X'.
- REMOVE EXISTING CHAIR RAIL AND SISAL. PREPARE EXISTING WALL FOR NEW PAINT FINISH AND CARPET BASE.
- REMOVE EXISTING GYPSUM BOARD, CHAIR RAIL AND SISAL AS REQUIRED TO ALLOW NEW BLOCKING FOR NEW MILLWORK COUNTER AND OVERHEAD SHELVING.
- NEW DOOR POSITION BASED ON LOCATION OF FORMER DOOR ROUGH OPENING (R.O.) CLOSED IN BY PRIOR RENOVATIONS. VERIFY ACTUAL R.O. ON SITE AND COORDINATE WITH NEW DOOR POSITION. IF ON SITE VERIFIED FORMER R.O. IS DIFFERENT, CONTACT ARCHITECT TO DISCUSS IF MINOR DOOR POSITION SHIFT IS ACCEPTABLE OR IF WALL FRAMING MODIFICATIONS ARE REQUIRED TO ACCEPT NEW DOOR AS SHOWN.
- REMOVE PORTION OF EXTERIOR MASONRY AS REQUIRED TO ALLOW NEW EXTERIOR WALL EXHAUST LOUVERS. SEE DETAIL M/A-10.
- REMOVE EXISTING MILLWORK DISPLAY CABINET AND FINISHES AS REQUIRED TO SUIT NEW DOOR OPENING.

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PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME CRANBROOK 1,2,& CRANBROOK BRITISH COLUMBIA STAKE PROJECT ADDRESS 2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4		
SHEET TITLE DEMOLITION FLOOR PLAN		
PROJECT DESIGNATION 510-5234-1802-0101		
EZA NUMBER 18101	SHEET NO. A-1	
CNA WORK ORDER FBW24586		
DATE MAR 2019		





1 NEW FLOOR PLAN  
A-2 SCALE: 1/4" = 1'-0"

LEGEND: (NOTE: APPLICABLE TO ALL DRAWINGS)

- WALL OR ITEM TO REMAIN
- NEW ITEM OR CONSTRUCTION
- MINIMUM 1 HOUR FIRE RESISTANCE RATING (F.R.R.)

WALL TYPES:

- AT NEWLY FRAMED WALLS, PROVIDE TREATED SILL PLATES DUE TO CONTACT WITH CONCRETE.
- IN NEW CONSTRUCTION PROVIDE 5/8" TYPE X 'DENS-SHIELD' TILE BACKER IN PLACE OF GYP. BD. FOR NEW TILED WALL AREAS. SEE SPECIFICATIONS.

- |  |   |
|--|---|
| <p>W1 5/8" TYPE X GYPSUM BOARD<br/>2x4 STUDS AT 16" O.C.<br/>5/8" TYPE X GYPSUM BOARD</p> <p>NOTE: FULL HEIGHT WALL TO U/S ROOF JOIST (GYP. BD.).</p>  | <p>W7 5/8" TYPE X 'DENS-SHIELD' TILE BACKER<br/>EXISTING STUDS TO REMAIN EXIST. GYP. BD. TO REMAIN</p> <p>NOTE: 1 HOUR F.R.R. AS PER BRITISH COLUMBIA BUILDING CODE 2018 APPENDIX D (D-23.4.)<br/>NOTE: WALL HEIGHT - 10 FEET.</p>  |
| <p>W2 5/8" TYPE X GYPSUM BOARD<br/>1/2" PLYWOOD SHEATHING<br/>2x6 STUDS AT 16" O.C.<br/>ACOUSTIC BATT INSULATION<br/>1/2" PLYWOOD SHEATHING<br/>5/8" TYPE X GYPSUM BOARD</p> <p>NOTE: COORDINATE STUD SPACING W/ PLUMBING REQUIREMENTS.<br/>NOTE: 1 HOUR F.R.R. AS PER BRITISH COLUMBIA BUILDING CODE 2018 APPENDIX D (D-23.4.)<br/>NOTE: FULL HEIGHT WALL TO U/S ROOF JOIST (GYP. BD.).</p> | <p>W8 1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD<br/>2x4 STUDS AT 16" O.C.<br/>1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD</p> <p>NOTE: 1 HOUR F.R.R. AS PER BRITISH COLUMBIA BUILDING CODE 2018 APPENDIX D (D-23.4.)<br/>NOTE: FULL HEIGHT WALL TO U/S ROOF JOIST (GYP. BD.).</p>   |
| <p>W3 5/8" TYPE X GYPSUM BOARD<br/>2x6 STUDS AT 16" O.C.<br/>5/8" TYPE X GYPSUM BOARD</p> <p>NOTE: COORDINATE STUD SPACING W/ PLUMBING AND CARRIER REQUIREMENTS.<br/>NOTE: WALL HEIGHT - 10 FEET EXCEPT WHEN DENOTED AS F - FULL HEIGHT WALL TO U/S ROOF JOIST (GYP. BD.).</p>   | <p>W9 1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD<br/>EXISTING STUDS TO REMAIN<br/>1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD</p> <p>NOTE: 1 HOUR F.R.R. AS PER BRITISH COLUMBIA BUILDING CODE 2018 APPENDIX D (D-23.4.)<br/>NOTE: REQUIRE FULL HEIGHT WALL TO U/S ROOF JOIST (GYP. BD.).<br/>EXTEND WALL FROM EXIST. TOP PLATE TO U/S ROOF JOIST (GYP. BD.) AND EXTEND GYP. BD. TO U/S ROOF JOIST (GYP. BD.).</p> |
| <p>W4 5/8" TYPE X GYPSUM BOARD<br/>2x4 STUDS AT 16" O.C.</p> <p>NOTE: WALL HEIGHT - 10 FEET.</p>   | <p>W10 1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD<br/>EXISTING STUDS TO REMAIN EXIST. GYP. BD. TO REMAIN</p> <p>NOTE: EXISTING WALL HEIGHT TO REMAIN AS IS.</p>  |
| <p>W5 5/8" TYPE X GYPSUM BOARD<br/>2x6 STUDS AT 16" O.C.</p> <p>NOTE: COORDINATE STUD SPACING W/ PLUMBING AND CARRIER REQUIREMENTS.<br/>NOTE: WALL HEIGHT - 10 FEET.</p>   | <p>W11 1/2" TYPE X GYPSUM BOARD<br/>1/2" TYPE X GYPSUM BOARD<br/>EXISTING STUDS TO REMAIN EXIST. GYP. BD. TO REMAIN</p> <p>NOTE: EXISTING WALL HEIGHT TO REMAIN AS IS.</p>  |
| <p>W6 1/2" GYPSUM BOARD<br/>2x4 STUDS ON FLAT AT 16" O.C.</p> <p>NOTE: COORDINATE STUD SIZE &amp; ORIENTATION TO FACILITATE NEW WALL INFILL. INSTALL FLUSH W/ EXIST. ADJACENT WALL. IF STUD SIZE TOO LARGE, RIP TO PROPER SIZE.<br/>NOTE: WALL HEIGHT - 10 FEET.</p>   | <p>W12 EXISTING WALL</p>  |

NEW CONSTRUCTION KEY NOTES

KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

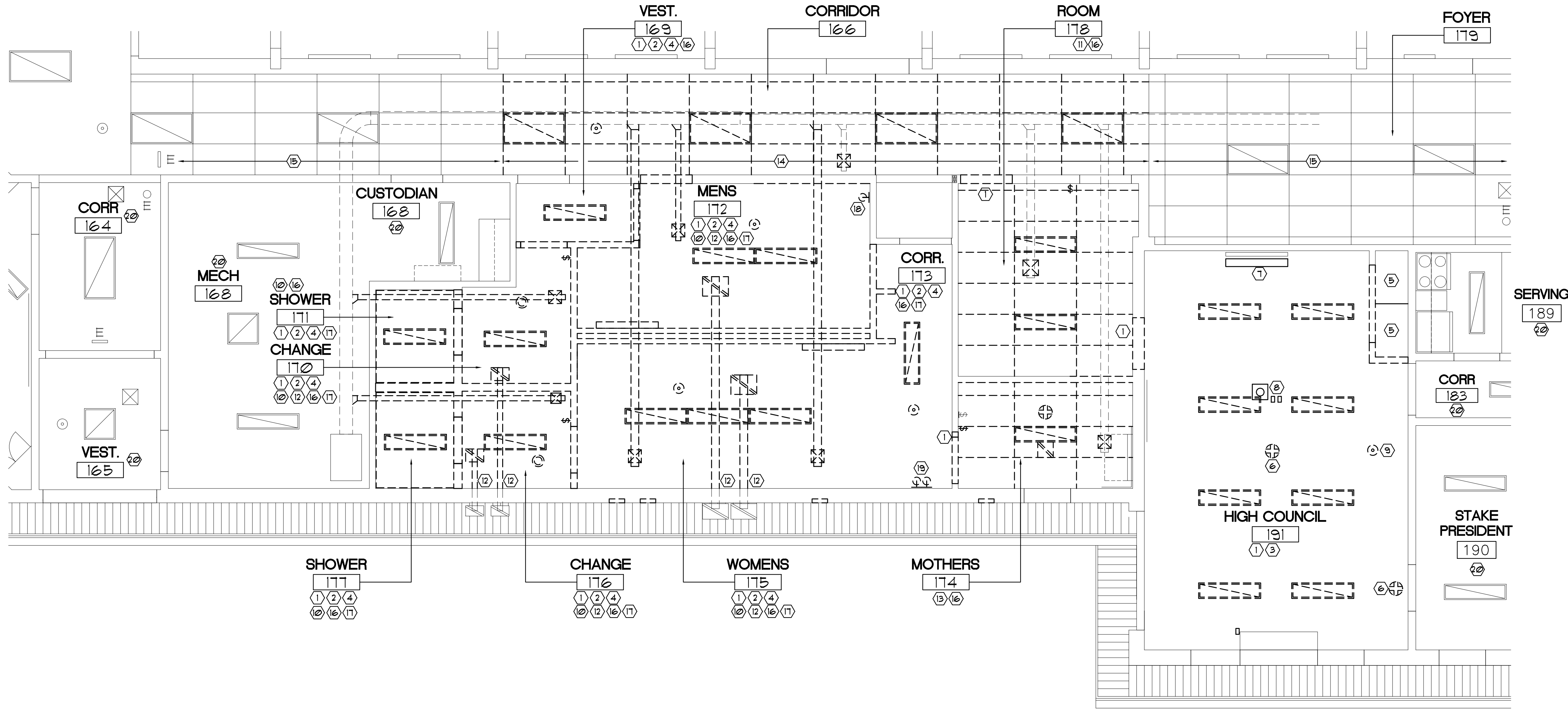
- NEW FRAMED STUD WALL TO SUIT NEW LAYOUT. SEE WALL TYPES AND INTERIOR ELEVATIONS.
- PATCH AND MAKE GOOD EXISTING WALL DUE TO REMOVAL EXISTING PLUMBING / PIPING. SEE INTERIOR ELEVATIONS FOR NEW FINISHES.
- PATCH AND MAKE GOOD EXISTING WALL TO REMAIN DUE TO REMOVAL EXIST. INTERIOR WALLS. SEE INTERIOR ELEVATIONS FOR NEW FINISHES.
- NEW 3/4" PAINTED CONCEALED PLYWOOD BACKUP BEHIND BABY CHANGE (ANCHORED THROUGH GYP. BD. DIRECTLY TO STUDS W/ 3" SCREWS) TO ALLOW SECUREMENT OF RELOCATED WALL. NO BABY CHANGE TO EXISTING WALL. SEE INTERIOR ELEVATIONS FOR NEW FINISHES.
- NEW 5/8" TYPE X 'DENS-SHIELD' TILE BACKER ON WASHROOM SIDE OF EXISTING STUD WALL.
- OWNER TO PATCH / INFILL EXISTING CARPET AND CARPET BASE AS REQUIRED TO SUIT NEW LAYOUT. CONTRACTOR TO PROTECT EXISTING CARPET / CARPET BASE TO REMAIN.
- NEW FLOOR TILE / COVED BASE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW FINISHES PLAN A-1.
- NEW SCHLUTER TRANSITION FROM CARPET TO TILE - SEE NEW FINISHES PLAN A-1.
- NEW 20 MIN RATED WOOD DOOR AND NEW DOOR HARDWARE IN EXISTING RATED FRAME - SEE SPECIFICATIONS AND SCHEDULE FOR NEW HARDWARE (DWG. A-1). REINSTALL ROOM SIGNAGE PLATE AS PER ORIGINAL SIGN MOUNTING LOCATION.
- NEW WOOD DOOR AND DOOR HARDWARE IN NEW PRESSED STEEL FRAME - SEE SPECIFICATIONS AND SCHEDULE FOR NEW HARDWARE AND APPLICABLE RATINGS (DWG. A-1). NEW ROOM SIGNAGE PLATE AS PER BASE BUILDING SIGNAGE PROGRAM.
- RELOCATED WALL STOP. PROVIDE NEW BLOCKING IF RELOCATED WALL STOP IS SHOWN IN A NEW LOCATION WHERE NO BLOCKING EXISTS.
- PATCH EXISTING WALL AT FORMER COVER PLATE LOCATION TO ALLOW APPLICATION OF NEW WALL FINISHES.
- NEW OUTLET (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING) AS REQUIRED TO SUIT NEW LAYOUT. TIE BACK TO NEAREST CIRCUIT AND PANEL. AT UET LOCATIONS, PROVIDE GFCI AS SHOWN.
- CLEAN AND RELOCATE ELECTRIC RADIATION CABINET ASSEMBLY (INCLUDING INTEGRAL CONTROL, CONDUIT AND ASSOCIATED WIRING) AS REQUIRED TO SUIT NEW LAYOUT. CONFIRM PRESET TEMPERATURE WITH OWNER (FM GROUP). TIE BACK TO NEAREST CIRCUIT AND PANEL. PATCH AND MAKE GOOD EXISTING WALL DUE TO CONCEALED RELOCATED ELECTRICAL CONNECTION. SEE INTERIOR ELEVATIONS FOR NEW FINISHES.
- NEW SISAL WALL COVERING TO MATCH EXISTING ADJACENT FROM INSIDE CORNER TO INSIDE CORNER AND/OR EXISTING DOOR FRAME AS REQUIRED TO SUIT NEW LAYOUT. CUT SISAL FLUSH TO EDGE OF NEW DOOR FRAME (IF PRESENT). SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.
- NEW WOOD CHAIR RAIL TRIM AS REQUIRED TO SUIT NEW LAYOUT. MINIMUM SPLICE LENGTH TO BE 3'-0" (CUSTOM GRADE INSTALLATION). MATCH WOOD GRAINS ACROSS SPLICES. MATCH EXISTING PROFILE AND STAIN - SEE DETAIL C/A-10, INTERIOR ELEVATIONS AND SPECIFICATIONS.
- NEW PAINTED FINISH OVER EXISTING AND/OR NEW INFILL WALL FROM INSIDE CORNER TO INSIDE CORNER (OR TO DOOR FRAME WHERE SHOWN). PRIME COAT INFILL PRIOR TO FINISH PAINTING - SEE INTERIOR ELEVATIONS AND SPECIFICATIONS. AT FORMER SISAL / CHAIR RAIL LOCATIONS, REPAIR WALL OF ALL IMPERFECTIONS DUE TO FORMER FINISHES PRIOR TO PRIMING AND PAINTING.
- NEW PAINTED FINISH OVER NEW WALL FROM INSIDE CORNER TO INSIDE CORNER. PRIME COAT PRIOR TO FINISH PAINTING - SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.
- NEW FULL HEIGHT WALL TILE FINISH. NO TILE LIPPAGE WILL BE ACCEPTABLE ON NEW FINISH. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.
- EXISTING BENCH / TABLE RELOCATED BY OWNER.
- EXISTING FINISHES TO REMAIN UNLESS DETAILED OTHERWISE. KEEP AREA CLEAN.
- PRIME AND PAINT NEW PRESSED STEEL DOOR FRAME.
- PRIME AND PAINT EXISTING PRESSED STEEL DOOR FRAME AS REQUIRED TO SUIT NEW LAYOUT.
- NEW VANITY MIRROR. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.
- CLEAN AND REINSTALL EXISTING PAPER TOWEL DISPENSER IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE. PROVIDE SOLID BLOCKING. IF MOUNTING ON EXISTING EXTERIOR WALL, SCREW ANCHOR THROUGH GYPSUM BOARD DIRECTLY INTO EXISTING STUDS.
- CLEAN AND REINSTALL EXISTING SOAP DISPENSER IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE.
- INSTALL NEW OWNER SUPPLIED SOAP DISPENSER AFTER NEW FINISHES ARE COMPLETE.
- OWNER TO CLEAN AND REINSTALL EXISTING TOILET PAPER DISPENSER IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE. AT WOOD FRAMED WALLS, CONTRACTOR TO PROVIDE SOLID BLOCKING FOR SECUREMENT.
- CLEAN AND REINSTALL EXISTING BABY CHANGE STATION IN NEW LOCATION AFTER NEW FINISHES ARE COMPLETE. ANCHOR INTO NEW PAINTED 3/4" PLYWOOD BACKUP AND EXISTING STUDS.
- NEW S.S. SHELVING. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS. PROVIDE SOLID BLOCKING. IF MOUNTING ON EXISTING EXTERIOR WALL, SCREW ANCHOR THROUGH GYPSUM BD. DIRECTLY INTO EXISTING STUDS.
- NEW TOILET PARTITIONS. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS. PROVIDE SOLID BLOCKING IN FRAMED WALL TO ALLOW SOLID ANCHORAGE.
- NEW 16" WIDE URINAL SCREEN C/W FLOOR POST. PROVIDE SOLID BLOCKING IN FRAMED WALL FOR SOLID ANCHORAGE.

- NEW GRAB BARS. SEE INTERIOR ELEVATIONS AND SPEC'S. PROVIDE SOLID BLOCKING IN FRAMED WALL BEHIND.
- NEW WALL HUNG SINK INCLUDING FAUCET, OFFSET TRAP C/W PIPE INSULATION, ALL NECESSARY PLUMBING SUPPLY, WASTE, AND VENT PIPING. SEE SPECIFICATIONS AND NEW PLUMBING DRAWINGS A-6. PROVIDE SOLID BLOCKING IN NEW FRAMED WALL BEHIND.
- NEW TOILET FIXTURE INCLUDING WAX SEAL, FLANGE, AND NECESSARY PLUMBING SUPPLY, WASTE AND VENT PIPING. SEE SPECIFICATIONS AND NEW PLUMBING DRAWINGS A-6.
- NEW URINAL FIXTURE INCLUDING AUTOMATIC FLUSH VALVE, NECESSARY PLUMBING SUPPLY, WASTE AND VENT PIPING. SEE SPECIFICATIONS AND NEW PLUMBING DRAWINGS A-6. PROVIDE SOLID BLOCKING IN FRAMED WALL BEHIND.
- NEW FLOOR DRAIN INCLUDING NECESSARY PLUMBING WASTE AND VENT PIPING. SEE SPECIFICATIONS AND NEW PLUMBING DRAWINGS A-6.
- NEW SANITARY NAPKIN DISPOSAL BY CONTRACTOR. SEE SPECIFICATIONS.
- NEW MIRROR C/W ALUMINUM FRAME BY CONTRACTOR. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.
- LOCATION OF NEW UNDER SLAB 14" DIA. RETURN AIR FIBER-GLASS REINFORCED PLASTIC (FRP) DUCT IN 4" MINIMUM CONCRETE ENCASUREMENT (TOP SIDE) AND 4" MINIMUM WASHED DRAIN ROCK ENCASUREMENT (BOTTOM SIDE). COORDINATE CONC. COVER BASED ON MEETING EXIST. DUCT SLOPES WHICH DRAIN TOWARDS EXISTING RETURN AIR FLENUM. NEW RETURN AIR DUCT ASSEMBLY INFILL TO CONNECT TO EXISTING RETURN AIR DUCT ASSEMBLY THAT REMAINS IN PLACE. SEE DETAIL K/A-10.
- LOCATION OF NEW 4" REINFORCED CONCRETE SLAB INFILL (10M x 16" O.C.) NEW EPOXY DOUBLED INTO EXISTING FOUNDATION WALL (WHERE ADJACENT) AND EXISTING SLAB TO REMAIN W/ MATCHING BAR X 12" MIN LENGTHS OVER MATCHING COMPACTED GRANULAR BASE AND VAPOUR BARRIER AS REQUIRED TO SUIT NEW PIPING LAYOUT. DROP CONCRETE SLAB 2" TO ACCOUNT FOR FLOOR TOPPING / TILE FINISH AND ALLOW FOR FLUSH TRANSITION TO ADJACENT CARPET FLOOR FINISH. SLOPE TOPPING / FLOOR TILE TO NEW FLOOR DRAIN. SEE DETAILS H/A-10, K/A-10 AND NEW PLUMBING DRAWING A-6.
- NEW WALL ACCESS DOOR AND FRAME (PAINTED). SEE INTERIOR ELEVATIONS AND COORDINATE LOCATIONS WITH PLUMBING REQUIREMENTS SUCH AS BUT NOT LIMITED TO ISOLATION VALVES AND CLEANOUTS. SEE NEW PLUMBING DRAWINGS A-6.
- EXISTING RETURN AIR FLOOR GRILLE. PROTECT FROM CONSTRUCTION DEBRIS / DAMAGE. CLEAN AND REINSTALL.
- EXISTING FLOOR DRAIN TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.
- EXISTING MOP SINK TO REMAIN.
- EXISTING WATER FOUNTAIN TO REMAIN.
- EXISTING HOT WATER TANK TO REMAIN. LOCATION SHOWN IS APPROXIMATE ONLY.

- EXISTING DOOR TO REMAIN. PROTECT FROM DAMAGE.
- CLEAN AND REINSTALL EXISTING WALL MOUNTED DRAPEY TRACK ASSEMBLY IN SAME SPOT AFTER WALL/WINDOW REVISIONS. CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS (ROOM 191) ARE DONE.
- EXISTING SISAL AND CHAIR RAIL TO REMAIN. PROTECT FROM DAMAGE.
- EXISTING FLOOR AND WALL TILE TO REMAIN. PROTECT FROM DAMAGE.
- EXISTING CARPET AND CARPET BASE TO REMAIN. PROTECT FROM DAMAGE.
- RELOCATED WALL STOP. PROVIDE DRYWALL MOLLY IF RELOCATED WALL STOP IS SHOWN IN A NEW LOCATION WHERE NO STUD EXISTS FOR SOLID ANCHORAGE.
- NEW ANODIZED ALUMINUM FRAME MODIFICATION TO ACCEPT NEW WINDOW ASSEMBLY INFILL AT FORMER DOOR LOCATION. MATCH EXISTING ADJACENT WINDOW FRAME STYLE AND FINISH. SEE SPECIFICATIONS AND ELEVATION 8/A-9.
- MODIFY EXISTING SOUND CABINET TO SWING OPPOSITE OF EXISTING CONFIGURATION TO ALLOW NEW WALL CONSTRUCTION ADJACENT.
- NEW DOOR POSITION BASED ON LOCATION OF FORMER DOOR. RUGH OPENING (R.O.) CLOSED IN BY PRIOR RENOVATIONS. VERIFY ACTUAL R.O. ON SITE AND COORDINATE WITH NEW DOOR POSITION. IF ON SITE VERIFIED FORMER R.O. IS DIFFERENT, CONTACT ARCHITECT TO DISCUSS IF MINOR DOOR POSITION SHIFT IS ACCEPTABLE OR IF WALL FRAMING MODIFICATIONS ARE REQUIRED TO ACCEPT NEW DOOR AS SHOWN.
- MODIFY EXISTING SISAL AND CHAIR RAIL FINISHES TO ACCEPT NEW DOOR LOCATION. TRIM OUT AND FINISH TO MATCH EXISTING BUILDING STANDARDS.
- EXIST. WOOD PANELING TO REMAIN. PROTECT FROM DAMAGE.
- NEW MILLWORK COUNTER C/W OVERHEAD OPEN SHELVING. SEE DETAIL 5/A-9.
- NEW DATA JACK (INCLUDING DEVICE BOX, CONDUIT, AND ASSOCIATED CAT6 CABLE) AS REQUIRED TO SUIT NEW LAYOUT. RUN FROM JACK BACK TO DATA BOARD (CONFIRM LOCATION ON SITE). CONTRACTOR TO TERMINATE END AND OWNER TO CONNECT INTO DATA PANEL. SEE SPECIFICATIONS (MATCH EXISTING PROFILES).
- EXISTING FURNACE F-3 TO REMAIN. LOCATION IS APPROXIMATE.
- COAT HOOK ON TOILET PARTITION.
- REPAIR (GROUT IN SOLID) FORMER FDN. BRACKET ANCHOR PENETRATION POINTS AND REPAIR FDN. FINISH TO MATCH EXISTING ADJACENT FDN. FINISH.
- NEW TOILET DISPENSER (SUPPLY AND INSTALL BY OWNER). AT FRAMED WALLS, CONTRACTOR TO PROVIDE SOLID BLOCKING.
- NEW LANDING, STAIR AND RAIL ASSEMBLY. SEE DETAIL.

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EZA NUMBER 18101	SHEET NO. A-2	
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1 DEMOLITION CEILING PLAN  
A-3 SCALE: 1/4" = 1'-0"

#### DEMOLITION KEY NOTES

KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

- REMOVE EXISTING FRAMED STUD WALL C/W GYPSUM BOARD AND FINISHES AS REQUIRED TO SUIT NEW LAYOUT.
- REMOVE EXISTING LIGHT FIXTURE AND PREPARE FOR NEW FIXTURE. REMOVE ALL WIRING, CONDUIT, AND DEVICE BOXES FROM ABANDONED FIXTURE AND PROPERLY TERMINATE AT NEAREST CIRCUIT OR ELECTRICAL PANEL. SALVAGE FIXTURES TO OWNER. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING LIGHT FIXTURE AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING GYPSUM BOARD CEILING. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE SUSPENDED TILE / T-BAR CEILING. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING SPEAKER AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER CEILING PAINTING / FINISHES ARE COMPLETE. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING PROJECTION SCREEN AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING PROJECTOR AND OUTLET COVER PLATES. SAVE FOR REINSTALLATION IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING MOTION SENSOR LIGHT CONTROL DEVICE AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING CEILING SUPPLY DIFFUSER (IF PRESENT) AND ALL ASSOCIATED LATERAL SUPPLY DUCT WORK IN SPACE ABOVE EXISTING GYPSUM BOARD CEILING. EXISTING MAIN SUPPLY AIR DUCT TO REMAIN IN CORRIDOR AND MECHANICAL ROOM. PREPARE FOR NEW HVAC LAYOUT.
- REMOVE EXISTING CEILING T-BAR GRID, CEILING TILE, LIGHT FIXTURES, SUPPLY DIFFUSER, AND MISCELLANEOUS MECH/ELECT. TURN OVER LIGHT FIXTURES TO OWNER AND SAVE SUPPLY DIFFUSER FOR REINSTALLATION AS PER NEW LAYOUT AFTER MODIFICATIONS TO WALLS ABOVE, U/S ROOF STRUCTURE, MECHANICAL DUCTWORK AND ELECTRICAL IS COMPLETE. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING EXHAUST DIFFUSER, EXHAUST FAN, MOTORIZED DAMPER CONTROLS, ALL WIRING, CONDUIT, DEVICE BOXES AND PROPERLY TERMINATE AT NEAREST CIRCUIT OR ELECTRICAL PANEL. SALVAGE FANS AND DAMPERS TO OWNER. REMOVE ALL ASSOCIATED LATERAL EXHAUST DUCT WORK IN SPACE ABOVE EXISTING GYPSUM BOARD CEILING UP TO EXISTING VAPOR BARRIER LINE AT EXTERIOR WALL. BEYOND THIS POINT, EXISTING EXHAUST DUCT WORK AND EXISTING EXTERIOR SOFFIT EXHAUST GRILLE TO REMAIN AS IS BUT BE INSULATED W/ MINERAL WOOL INSULATION AND CAPPED AT OPEN DUCT END (BEHIND VAPOR BARRIER LINE). PREPARE FOR NEW LAYOUT.
- REMOVE EXISTING CEILING T-BAR GRID, CEILING TILE, LIGHT FIXTURE, SUPPLY DIFFUSER, EXHAUST ASSEMBLY AND SPEAKER. TURN OVER LIGHT FIXTURES TO OWNER. SAVE SPEAKER ASSEMBLY AND SUPPLY DIFFUSER FOR REINSTALLATION AS PER NEW LAYOUT AFTER MODIFICATIONS TO WALLS ABOVE, U/S ROOF STRUCTURE, MECHANICAL DUCTWORK AND ELECTRICAL IS COMPLETE. SEE NEW REFLECTED CEILING PLAN A-4.
- REMOVE EXISTING CEILING T-BAR GRID, CEILING TILE, LIGHT FIXTURES, SENSORS AND DIFFUSERS/GRILLES. PROTECT AND SAVE FOR REINSTALLATION IN SAME SPOT AFTER UPPER PORTION OF EXISTING CORRIDOR WALLS ABOVE T-BAR ELEVATION ARE CLAD W/ 5/8" TYPE X GYPSUM BOARD (INCLUDING FIRE TAPE) AND HVAC DUCT MODIFICATIONS ARE COMPLETE. VERIFY EXACT EXTENT OF REMOVAL ON SITE IN CONJUNCTION W/ REQUIRED WALL, MECHANICAL AND ELECTRICAL MODIFICATIONS WHICH REQUIRE ACCESS. SEE NEW REFLECTED CEILING PLAN A-4.
- EXISTING CEILING ASSEMBLY INCLUDING MECHANICAL / ELECTRICAL TO REMAIN. PROTECT IN PLACE AND KEEP EXISTING AREA / FIXTURES CLEAN. VERIFY EXACT EXTENT OF CEILING ASSEMBLY TO REMAIN ON SITE IN CONJUNCTION W/ REQUIRED WALL, MECHANICAL AND ELECTRICAL MODIFICATIONS WHICH REQUIRE ACCESS. SEE NEW REFLECTED CEILING PLAN A-4.
- AT UNDERSIDE OF EXISTING ROOF STRUCTURE, REMOVE / LOOSEN EXISTING MECHANICAL AND ELECTRICAL ITEMS TO ALLOW ATTACHMENT OF 2 LAYERS 5/8" TYPE X GYPSUM BOARD (INCLUDING FIRE TAPING) TO U/S OF ROOF STRUCTURE. AFTER GYPSUM BOARD WORK IS COMPLETE, RE-SECURE ALL ITEMS TO ORIGINAL POSITION.
- REMOVE EXISTING VENTING (PROTECT FINAL SECTION THRU ROOF) AND PREPARE TO PROVIDE NEW VENTING AS REQUIRED FOR NEW PLUMBING FIXTURE LAYOUT. VERIFY ON SITE AND COORDINATE NEW VENTING WITH EXISTING VENTING LOCATION TO REMAIN THROUGH ROOF.
- REMOVE EXISTING EMERGENCY LIGHTING, DEVICE BOX, CONDUIT AND ALL ASSOCIATED WIRING BACK TO EXISTING FIRE ALARM PANEL. PREPARE FOR NEW FIRE STROBE AS PER NEW ROOM LAYOUT AND NEW ASSOCIATED WIRING BACK TO EXISTING FIRE ALARM PANEL.
- REMOVE EXISTING EMERGENCY LIGHTING. EXISTING DEVICE BOX, CONDUIT AND ALL ASSOCIATED WIRING BACK TO EXISTING FIRE ALARM PANEL TO REMAIN. PREPARE FOR NEW FIRE STROBE AS PER NEW ROOM LAYOUT.
- KEEP EXISTING AREA / FIXTURES CLEAN.

#### MECHANICAL SEISMIC RESTRAINT NOTES

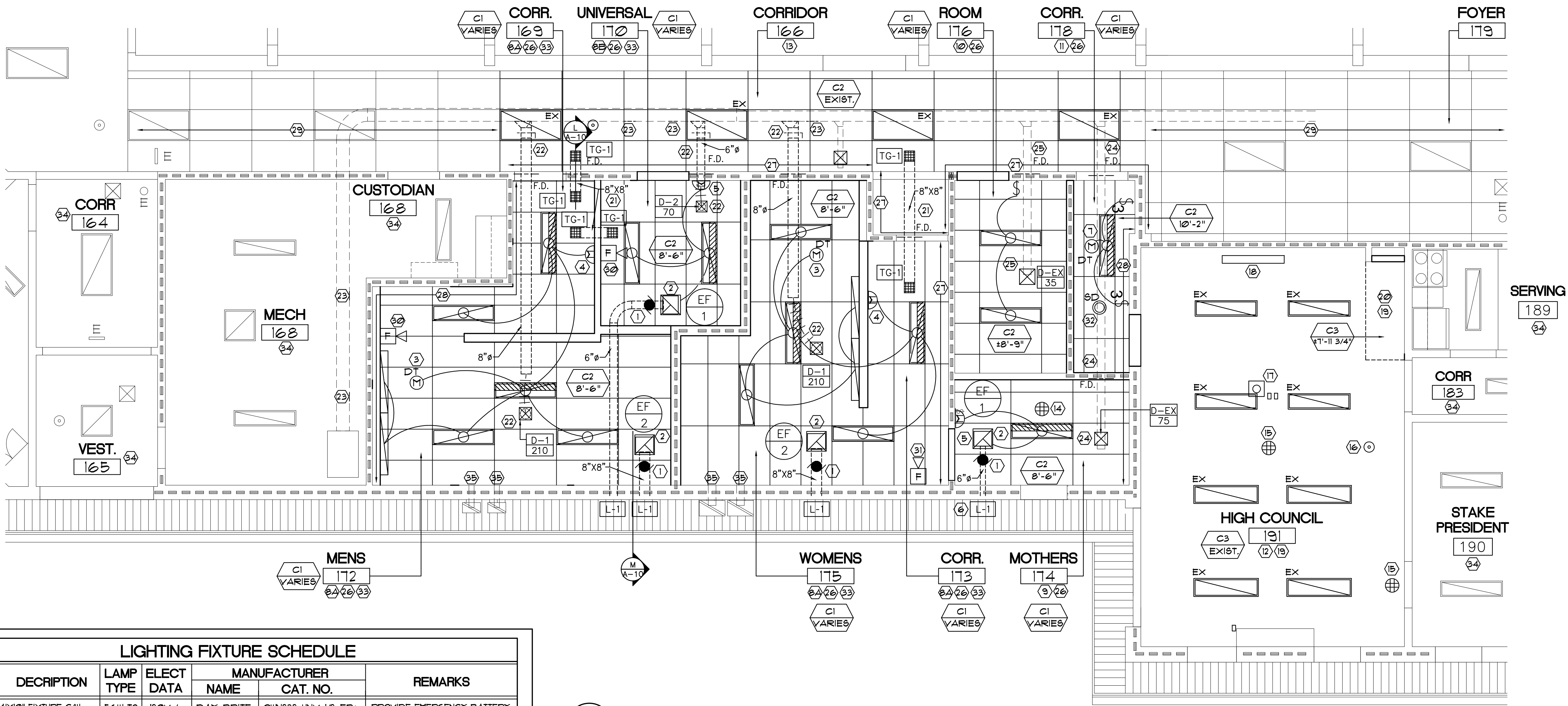
- PROVIDE ALL LABOUR AND MATERIALS NECESSARY FOR THE SEISMIC RESTRAINT AND ANCHORAGE FOR ALL MECHANICAL EQUIPMENT, PIPING AND DUCTWORK, ETC. ("WORK") TO CONFORM WITH THE LATEST EDITION OF THE BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS. DIVISIONS 22 & 23 SHALL RETAIN AND PAY FOR THE SEISMIC ENGINEER TO DESIGN AND INSPECT THE SEISMIC RESTRAINTS OF THE MECHANICAL SYSTEM COMPONENTS COVERED UNDER THEIR RESPECTIVE WORK FOR THIS CONTRACT.
- ALL SEISMIC RESTRAINTS MUST CONFORM TO LATEST VERSIONS OF THE FOLLOWING: BUILDING CODE, SMACNA 'SEISMIC RESTRAINT MANUAL: GUIDELINES FOR MECHANICAL SYSTEMS', ASTM E-488 'STANDARD TEST METHODS FOR STRENGTH OF ANCHORS IN CONCRETE AND MASONRY ELEMENTS', AND ASHRAE APPLICATIONS HANDBOOK. IN ADDITION TO THIS ALL SHOP DRAWINGS MUST BE SUBMITTED WITH DESIGN CRITERIA CALCULATIONS AND BE PREPARED BY A SPECIALIST IN THE PROVINCE IN WHICH THE WORK IS BEING COMPLETED.
- DIVISIONS 22 & 23 MUST COORDINATE THE TYPE OF INSTALLATION OF THEIR EQUIPMENT, PIPING, DUCTWORK, ETC. (RECESSED, SURFACE, FLOOR OR WALL MOUNTED, ETC.) WITH THE SEISMIC ENGINEER THAT THEY WILL RETAIN WITHIN THE PROJECT. THE SEISMIC ENGINEER MUST RECOMMEND IN WRITING TO DIVISION 22 & 23, THE DEVICE AND MEASURE REQUIRED IN ORDER TO HAVE THE INSTALLATION OF THE MECHANICAL WORK COMPLY WITH THE APPLICABLE STANDARDS. A COPY OF THE REPORT MUST BE SUBMITTED TO THE CONSULTANT. THE SEISMIC ENGINEER MUST SUBMIT ALL CALCULATION CRITERIA USED IN CONJUNCTION WITH PARASEISMIC MEASURES TO BE USED. THIS DOCUMENT MUST ALSO INCLUDE ALL TECHNICAL BULLETINS, DIAGRAMS AND INSTALLATION DRAWINGS OF THE PARASEISMIC ANCHORING METHODS REQUIRED BY THE MECHANICAL WORK INSTALLED INSIDE THIS PROJECT.
- THE MECHANICAL EQUIPMENT MANUFACTURER SHALL BE RESPONSIBLE FOR ENSURING THAT THE EQUIPMENT HAS ADEQUATE STRENGTH FOR SEISMIC RESTRAINTS AND ANCHORAGE OF EQUIPMENT FRAMING. FOR MECHANICAL EQUIPMENT HUNG FROM/MOUNTED TO STRUCTURE, PROVIDE VIBRATION ISOLATORS IN SUCH A WAY THAT VIBRATION ISOLATION IS MAINTAINED TOGETHER WITH SEISMIC RESTRAINT.
- THE SUPPLIER OF SEISMIC DEVICES MUST BE ON THE PREMISES TO SUPERVISE THE INSTALLATION OF SUCH DEVICES AND TO VERIFY INSTALLATION PROCEDURES MEET THEIR REQUIREMENTS. ALTERNATIVELY, THE SUPPLIER SHALL SUBMIT A REPORT AND THE APPROPRIATE RECOMMENDATIONS TO THE SEISMIC ENGINEER.
- WHERE ANY DRILLING OF THE STRUCTURE IS REQUIRED FOR ANCHORAGE, THE DRILLING SHALL BE SUBJECT TO THE APPROVAL OF THE CONSULTANT.
- AT COMPLETION OF WORK, SUBMIT A LETTER TO THE CONSULTANT CONFIRMING THAT ALL NEW MECHANICAL INSTALLATIONS HAVE BEEN PROVIDED WITH SEISMIC RESTRAINTS AS PER BUILDING CODE REQUIREMENTS. ANY CORRECTIONS OR ADJUSTMENTS MADE BY THE CONTRACTOR MUST BE IN ACCORDANCE WITH WRITTEN REPORT PRESENTED BY THE MANUFACTURER.
- SUBSTANTIAL COMPLETION WILL NOT BE CONSIDERED WITHOUT THE SUBMISSION OF A SIGNED AND SEALED LETTER OF ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW PRIOR TO, AND LETTER(S) OF COMPLIANCE AFTER COMPLETION OF PROJECT AS REQUIRED BY THE BUILDING CODE. DIVISIONS 22 & 23 SHALL MAKE ALL REQUIRED ADJUSTMENTS AND TAKE CORRECTIVE ACTIONS ACCORDING TO THE WRITTEN REPORT PRESENTED BY THE SEISMIC ENGINEER. DIVISION 22 & 23 WILL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION ARISING FROM THE DIRECTIONS GIVEN BY THE SEISMIC ENGINEER FOR SEISMIC RESTRAINT AND ANCHORAGE OF THE MECHANICAL WORK.

#### ELECTRICAL SEISMIC RESTRAINT NOTES

- PROVIDE ALL LABOUR AND MATERIALS NECESSARY FOR THE SEISMIC RESTRAINT AND ANCHORAGE FOR ALL ELECTRICAL EQUIPMENT, LIGHT FIXTURES, BATTERY PACKS, CONDUITS, RACEWAYS, BUS DUCTS, ETC. TO CONFORM WITH THE LATEST EDITION OF THE BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS. DIVISION 26 SHALL RETAIN AND PAY FOR THE SEISMIC ENGINEER TO DESIGN AND INSPECT THE SEISMIC RESTRAINTS OF THE ELECTRICAL SYSTEM COMPONENTS COVERED UNDER DIVISION 26 FOR THIS CONTRACT.
- ALL SEISMIC RESTRAINTS MUST CONFORM TO LATEST VERSION OF THE ASHRAE APPLICATIONS HANDBOOK. IN ADDITION TO THESE STANDARDS ALL SHOP DRAWINGS MUST INCLUDE DESIGN CRITERIA AND BE PREPARED BY A SPECIALIST APPROVED IN THE PROVINCE THAT THE WORK IS BEING COMPLETED.
- DIVISION 26 MUST COORDINATE THE TYPE OF INSTALLATION OF THEIR ELECTRICAL EQUIPMENT (RECESSED SURFACE, FLOOR OR WALL MOUNTED, ETC.) WITH THE SEISMIC ENGINEER THAT THEY WILL RETAIN WITHIN THE PROJECT. THE SEISMIC ENGINEER MUST RECOMMEND IN WRITING TO DIVISION 26, THE DEVICE AND MEASURE REQUIRED IN ORDER TO HAVE THE INSTALLATION OF THE ELECTRICAL EQUIPMENT COMPLY WITH THE APPLICABLE STANDARDS. A COPY OF THE REPORT MUST BE SUBMITTED TO THE CONSULTANT. THE SEISMIC ENGINEER MUST SUBMIT ALL CALCULATION CRITERIA USED IN CONJUNCTION WITH PARASEISMIC MEASURES TO BE USED. THIS DOCUMENT MUST ALSO INCLUDE ALL TECHNICAL BULLETINS, DIAGRAMS AND INSTALLATION DRAWINGS OF THE PARASEISMIC ANCHORING METHODS REQUIRED BY THE ELECTRICAL EQUIPMENT INSTALLED INSIDE THIS PROJECT.
- THE ELECTRICAL EQUIPMENT MANUFACTURER SHALL BE RESPONSIBLE FOR ENSURING THAT THE EQUIPMENT HAS ADEQUATE STRENGTH FOR SEISMIC RESTRAINTS AND ANCHORAGE OF EQUIPMENT FRAMING. FOR TRANSFORMERS, PROVIDE VIBRATION ISOLATORS IN SUCH A WAY THAT VIBRATION ISOLATION IS MAINTAINED TOGETHER WITH SEISMIC RESTRAINT.
- THE SUPPLIER OF SEISMIC DEVICES MUST BE ON THE PREMISES TO SUPERVISE THE INSTALLATION OF SUCH DEVICES AND TO VERIFY INSTALLATION PROCEDURES MEET THEIR REQUIREMENTS. ALTERNATIVELY, THE SUPPLIER SHALL SUBMIT A REPORT AND THE APPROPRIATE RECOMMENDATIONS TO THE SEISMIC ENGINEER.
- WHERE ANY DRILLING OF THE STRUCTURE IS REQUIRED FOR ANCHORAGE, THE DRILLING SHALL BE SUBJECT TO THE APPROVAL OF THE CONSULTANT.
- AT COMPLETION OF WORK, SUBMIT A LETTER TO THE CONSULTANT CONFIRMING THAT ALL NEW ELECTRICAL INSTALLATIONS HAVE BEEN PROVIDED WITH SEISMIC RESTRAINTS AS PER BUILDING CODE REQUIREMENTS. ANY CORRECTIONS OR ADJUSTMENTS MADE BY THE CONTRACTOR MUST BE IN ACCORDANCE WITH WRITTEN REPORT PRESENTED BY THE MANUFACTURER.
- SUBSTANTIAL COMPLETION WILL NOT BE CONSIDERED WITHOUT THE SUBMISSION OF A SIGNED AND SEALED LETTER OF ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW PRIOR TO, AND LETTER(S) OF COMPLIANCE AFTER COMPLETION OF PROJECT AS REQUIRED BY THE BUILDING CODE. DIVISION 26 SHALL MAKE ALL REQUIRED ADJUSTMENTS AND TAKE CORRECTIVE ACTIONS ACCORDING TO THE WRITTEN REPORT PRESENTED BY THE SEISMIC ENGINEER. DIVISION 26 WILL NOT BE ENTITLED TO ANY ADDITIONAL COMPENSATION ARISING FROM THE DIRECTIONS GIVEN BY THE SEISMIC ENGINEER FOR SEISMIC RESTRAINT AND ANCHORAGE OF THE ELECTRICAL SYSTEMS.

MARK	DATE	REVISION
ARCHITECT		
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STAMP		
STAMP		
PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME CRANBROOK 1,2,& CRANBROOK BRITISH COLUMBIA STAKE PROJECT ADDRESS 2210 2ND STREET NORTH CRANBROOK, B.C. VIC 5H4		
SHEET TITLE DEMOLITION CEILING PLAN AND SEISMIC NOTES		
PROJECT DESIGNATION 510-5234-1802-0101		
EZA NUMBER 18101	SHEET NO. A-3	
GNA WORK ORDER FBW24586		
DATE MAR 2019		





## CEILING TYPES:

C1 HEIGHT  
5/8" TYPE X GYPSUM BOARD  
5/8" TYPE X GYPSUM BOARD

NOTE:  
1. 2 NEW LAYERS OF 5/8" TYPE X ARE APPLIED TO UNDERSIDE OF EXISTING SLOPED ROOF JOIST ASSEMBLY.  
2. EXISTING VAPOR BARRIER AND INSULATION TO REMAIN IN PLACE.  
3. AS PER BCBC 2018 APPENDIX D, 1 HOUR FRR IS PROVIDED.

C2 HEIGHT  
SUSPENDED 2x4 ACOUSTIC CEILING TILE ASSEMBLY

NOTE:  
1. SEE DETAIL 1/A-9 AND SPECIFICATIONS.

C3 HEIGHT  
TYPE X GYPSUM BOARD

NOTE:  
1. NEW TYPE X TO BE APPLIED IN ALIGNMENT W/ EXISTING ADJACENT CEILING. VERIFY THICKNESS OF GYPSUM BOARD REQUIRED ON SITE TO FACILITATE FLUSH TRANSITION BETWEEN EXISTING AND ADJACENT.  
2. STRUCTURAL SUPPORT ON SITE AND MATCH FOR NEW SMALL INFILL AREA REQUIRED.

## NEW WIRING NOTE:

- OCCUPANCY SENSOR TO ENERGIZE LIGHTS AND EXHAUST FAN. LINE VOLTAGE MOTORIZED DAMPER IN DUCTWORK (BY MECHANICAL) TO BE OPEN WHENEVER THE OCCUPIED SENSOR IS ACTIVATED AND CLOSE DURING UNOCCUPIED STATUS.
- NEW SWITCHES AND NEW WALL / CEILING OCCUPANCY SENSORS TO INCLUDE DEVICE BOX, CONDUIT, AND ASSOCIATED WIRING AS REQUIRED TO SUIT NEW LAYOUT.

LIGHTING FIXTURE SCHEDULE						
REF. No.	DESCRIPTION	LAMP TYPE	ELECT DATA	MANUFACTURER NAME	CAT. NO.	REMARKS
F1	4'x10" FIXTURE C/W ACRYLIC LENS AND ELECTRONIC BALLAST (SEE SPEC. 265100). RECESSED T-BAR MOUNTED FIXTURE	56W T8 3000K	120V / 1-56VA	DAY-BRITE LITHONIA METALUX L91 COLUMBIA HE WILLIAMS	OWN232-UNV-1/2-EB* (APPROVED EQUAL) (APPROVED EQUAL) (APPROVED EQUAL) (APPROVED EQUAL)	PROVIDE EMERGENCY BATTERY PACK AS NOTED ON PLAN. COORDINATE HOUSING SIZE TO FIT LARGER EM BALLAST.
F2	4' WALL MOUNTED VANITY FIXTURE C/W ACRYLIC DIFFUSER AND ELECTRONIC BALLAST (SEE SPEC. 265100).	28W T8 3000K	120V / 1-28VA	DAY-BRITE LIGHTOLIER METALUX L91 COLUMBIA	UB232U-120 (APPROVED EQUAL) (APPROVED EQUAL) (APPROVED EQUAL)	MOUNT ABOVE MIRRORS @ 1'-0". SEE INTERIOR ELEVATIONS.
DIFFUSER SCHEDULE						
MARK	CFM RANGE	DIFFUSER SIZE	NECK CONN.	BLOW	PATTERN	REMARKS
D-1 210	125 - 240	9"x9"	8" DIA.	4 WAY	4 WAY	① ② ③
D-2 70	60 - 120	6"x6"	6 DIA.	4 WAY	4 WAY	① ② ③
① MAXIMUM NC=25 @ MAXIMUM CFM NOTED. ② SHALL BE TITUS TDC TYPE 6 OR EQUAL BY OTHER APPROVED MANUFACTURERS. SEE SPECIFICATIONS. ③ FINISH SHALL BE OFF-WHITE BAKED ENAMEL B12. ④ FIRE DAMPER REQUIRED. REFER TO PLAN FOR LOCATION.						
GRILLE AND LOUVER SCHEDULE						
MARK	TYPE	SERVICE	NOMINAL SIZE	MANUFACTURER MODEL NUMBER	REMARKS	
TG-1	INTERIOR AIR GRILLE	TRANSFER AIR	8"x8"	EGG CRATE TYPE - SEE SPECIFICATIONS	① ②	
L-1	EXTERIOR WALL FIXED BLADE EXTRUDED DRAINABLE LOUVER	EXHAUST AIR	12"x12"	PRICE DE439 ALUMINUM LOUVER C/W BIRDSCREEN	③	
① FINISH SHALL BE OFF-WHITE BAKED ENAMEL B12. ② FIRE DAMPER REQUIRED IF GOING THROUGH FIRE RATED WALL. REFER TO PLAN FOR LOCATION. ③ CONFIRM DURANAR FINISH COLOR W/ ARCHITECT.						
EXHAUST FAN SCHEDULE						
MARK	SERVES ROOM	MIN. S.C.F.M.	STATIC PRESSURE IN W.G.	MOTOR AMPS / WATTS	MANUFACTURER MODEL NUMBER	REMARKS
EF 1	ROOM 170 ROOM 174	85	0.5	1.14 802	GREENHECK SP-B10	① ② ③
EF 2	ROOM 172 ROOM 175	230	0.375	0.56 807	GREENHECK SP-A230	① ② ③
① SET BALANCE DAMPERS SHOWN ON DWG. A-4 TO CFM LISTED. ② MOTORIZED DAMPERS SUPPLIED AND INSTALLED BY DIVISION 23 AND WIRED BY DIVISION 26. CONTROLS BY DIVISION 26. ACTUATOR TO BE HONEYWELL M58105A132U OR BELIMO LF120 (OR APPROVED EQUAL). ③ MOUNT MOTORIZED DAMPER TO BE ACCESSIBLE THROUGH T-BAR CEILING FOR MAINTENANCE. PROVIDE DUCT ACCESS DOORS. ④ VOLTAGE IS 115V / 1 PHASE / 60HZ. ⑤ EXHAUST FAN TO BE C/W BACKDRAFT DAMPER.						

1 NEW CEILING PLAN  
A-4 SCALE: 1/4" = 1'-0"

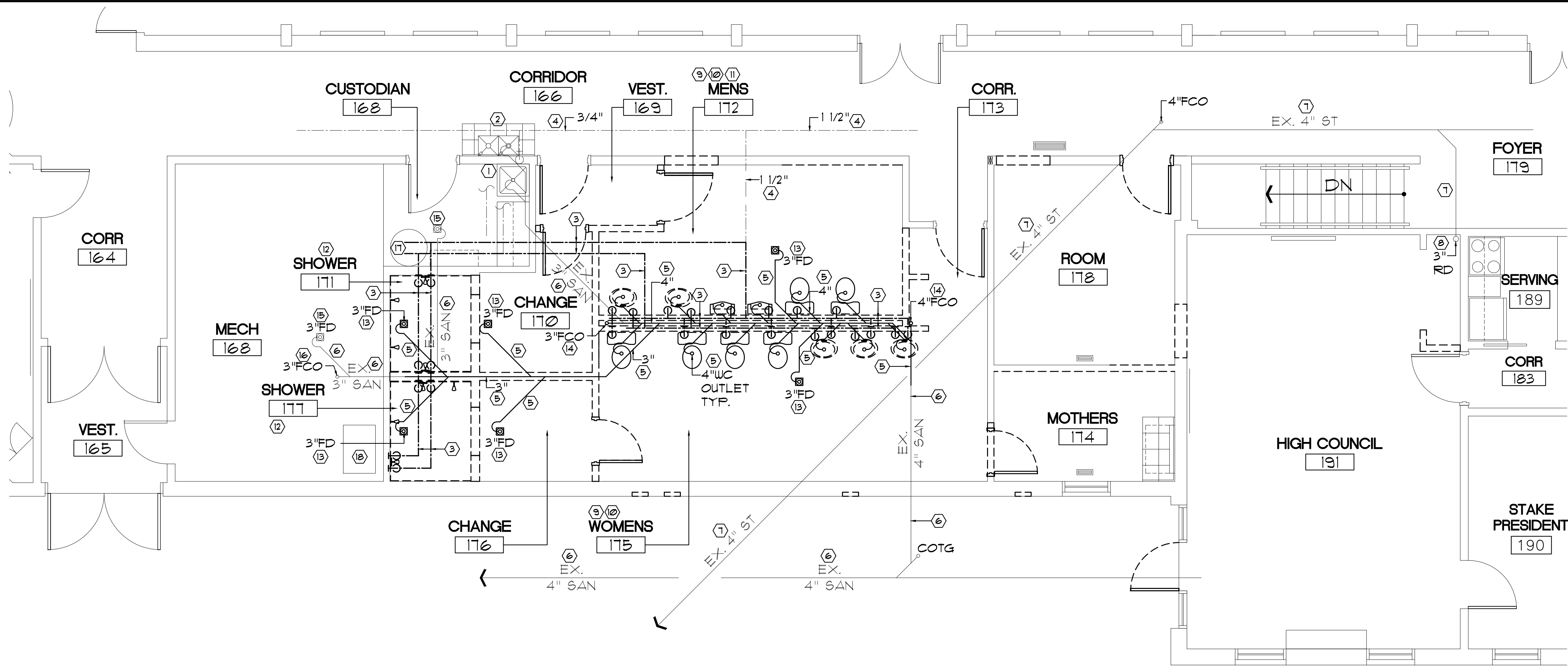
## NEW KEY NOTES:

KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

- NEW MOTORIZED DAMPER IN NEW EXHAUST DUCTWORK ABOVE NEW SUSPENDED CEILING TIED INTO NEW OCCUPANCY SENSOR. DAMPER TO BE LINE VOLTAGE TYPE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR AND WIRED BY ELECTRICAL CONTRACTOR.
- NEW EXHAUST FAN. CIRCUIT WITH THE ROOM LIGHT AND CONTROL WITH NEW OCCUPANCY SENSOR. PROVIDE NEW INSULATED EXHAUST DUCT WORK AND EXTEND THROUGH EXISTING EXTERIOR WALL TO NEW WALL LOUVER - SEE DETAIL M/A-10.
- NEW DUAL TECHNOLOGY CEILING MOUNTED OCCUPANCY SENSOR W/ OVERRIDE SWITCH. PROVIDE PROPER SEPARATION OF 120V AND CLASS 2 WIRING AS NECESSARY IN ACCORDANCE WITH C.E.C. SET SENSITIVITY AND TIME DELAY OF SENSOR AT MAXIMUM. OCCUPANCY SENSOR TO CONTROL EXHAUST FAN, MOTORIZED DAMPER, AND ROOM LIGHTING IN CONJUNCTION W/ WALL MOUNTED OCCUPANCY SENSOR. CEILING OCCUPANCY SENSOR SHALL NOT BE INSTALLED WITHIN 6'-0" OF ANY MECHANICAL DIFFUSER.
- NEW DUAL TECHNOLOGY WALL MOUNTED OCCUPANCY SENSOR. PROVIDE PROPER SEPARATION OF 120V AND CLASS 2 WIRING AS NECESSARY IN ACCORDANCE WITH C.E.C. SET SENSITIVITY AND TIME DELAY OF SENSOR AT MAXIMUM. OCCUPANCY SENSOR TO CONTROL EXHAUST FAN, MOTORIZED DAMPER, AND ROOM LIGHTING IN CONJUNCTION W/ CEILING MOUNTED OCCUPANCY SENSOR.
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- KEEP NEW LOUVER L-1 CLEAR OF EXISTING EXTERIOR WALL MOUNT LIGHT FIXTURE WHICH IS TO REMAIN.
- NEW DUAL TECHNOLOGY CEILING MOUNTED OCCUPANCY SENSOR W/ OVERRIDE SWITCH. PROVIDE PROPER SEPARATION OF 120V AND CLASS 2 WIRING AS NECESSARY IN ACCORDANCE WITH C.E.C. SET SENSITIVITY AND TIME DELAY OF SENSOR AT MAXIMUM. OCCUPANCY SENSOR TO CONTROL ROOM LIGHTING IN CONJUNCTION W/ THREE-WAY WALL SWITCHES AT TOP AND BOTTOM ON NEW STAIRS.
- NEW LIGHT FIXTURE "F1" AND "F2" TIED INTO NEW WALL AND CEILING OCCUPANCY SENSORS COMPLETE WITH WIRING BACK TO NEAREST ELECTRICAL PANEL FOR PROPER OPERATION. EM LUMINAIRE TO BE C/W ELECTRONIC FLUORESCENT BATTERY PACK BALLAST (BODINE MODEL 1950-CAN). COORDINATE HOUSING TO FIT BALLAST. LUMINAIRE SHALL BE CONNECTED TO SWITCHABLE CIRCUIT AND UPON POWER FAILURE, THE BATTERY PACK TO OPERATE LAMPS. EM LIGHT BALLAST TO BE POWERED USING UNSWITCHED HOT LEAD FROM SAME CIRCUIT.
- NEW LIGHT FIXTURE "F1" TIED INTO NEW WALL OCCUPANCY SENSOR COMPLETE WITH WIRING BACK TO NEAREST ELECTRICAL PANEL FOR PROPER OPERATION. EM LUMINAIRE TO BE C/W ELECTRONIC FLUORESCENT BATTERY PACK BALLAST (BODINE MODEL 1950-CAN). COORDINATE HOUSING TO FIT BALLAST. LUMINAIRE SHALL BE CONNECTED TO SWITCHABLE CIRCUIT AND UPON POWER FAILURE, THE BATTERY PACK TO OPERATE LAMPS. EM LIGHT BALLAST TO BE POWERED USING UNSWITCHED HOT LEAD FROM SAME CIRCUIT.
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- CLEAN AND REINSTALL EXISTING CEILING T-BAR GRID, CEILING TILE, LIGHT FIXTURES, SENSORS AND DIFFUSERS/GRILLES IN SAME SPOT. AFTER UPPER PORTION OF EXISTING CORRIDOR WALLS ABOVE T-BAR ELEVATION ARE CLAD W/ 5/8" TYPE X GYPSUM BOARD (INCLUDING FIRE TAPE) AND HVAC DUCT MODIFICATIONS ARE COMPLETE.
- CLEAN AND REINSTALL EXISTING SPEAKER TRIM RING, AND DEVICE BOX INTO NEW CEILING LOCATION. TIE INTO EXISTING WALL VOLUME CONTROL SWITCH - SEE INTERIOR ELEVATIONS. IF REQUIRED, PROVIDE SPEAKER CABLE - ASSUMED TO BE BELDEN 8411 OR EQUAL.
- CLEAN AND REINSTALL EXISTING SPEAKER IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS ARE COMPLETE.
- CLEAN AND REINSTALL EXISTING MOTION SENSOR LIGHT CONTROL DEVICE IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS ARE COMPLETE.
- CLEAN AND REINSTALL EXISTING PROJECTOR AND OUTLET COVER PLATES AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS ARE COMPLETE.
- CLEAN AND REINSTALL EXISTING PROJECTION SCREEN IN SAME SPOT AFTER CEILING PAINTING AND CEILING TEXTURE INFILL / TOUCH-UPS ARE COMPLETE.
- NEW GYPSUM BOARD TYPE X INFILL AND CEILING TEXTURE INFILL / TOUCH-UPS AT FORMER CLOSET AREA TO MATCH EXISTING ADJACENT CEILING TEXTURE. ROOM 191 CEILING W/ NEW CEILING MODIFICATION AND TEXTURE TO RECEIVE NEW PAINT FINISH (MATCH EXISTING PAINT FINISH COLOR AND SHEEN).
- VERIFY LOCATION OF EXISTING VAPOR BARRIER AND INSULATION ABOVE CEILING LINE. IF DIRECTLY ABOVE NEW GYPSUM BOARD INFILL, PROVIDE VAPOR BARRIER AND INSULATION TO MATCH EXISTING ADJACENT. PROVIDE MIN 12" LAP ON VAPOR BARRIER TIE IN AND TAPE C/W ACOUSTICAL SEALANT.
- NEW CEILING TRANSFER R/A AIR GRILLE, COMPLETE WITH NEW INSULATED 8" X 8" DUCT WORK AND FIRE DAMPERS (IF AT RATED WALL) TO SUIT NEW LAYOUT - SEE DETAIL L/A-10.
- NEW CEILING SUPPLY DIFFUSER AND NEW ASSOCIATED LATERAL SUPPLY DUCT WORK IN SPACE ABOVE NEW SUSPENDED ACOUSTIC CEILING. CONNECT TO EXISTING MAIN SUPPLY AIR DUCT IN CORRIDOR AND MECHANICAL ROOM. AT PENETRATION THROUGH RATED WALL, PROVIDE FIRE DAMPER.
- AT FORMER DUCT LOCATIONS REMOVED, PATCH AND MAKE GOOD HOLE IN EXISTING DUCTWORK AND INSULATION THAT IS TO REMAIN. MATCH EXISTING ADJACENT DUCT WALL AND INSULATION.
- EXISTING CEILING SUPPLY DIFFUSER RELOCATED TO LOWER CEILING HEIGHT IN ROOM 174. MODIFY EXISTING ASSOCIATED LATERAL SUPPLY DUCT WORK IN SPACE ABOVE ROOM 174 TO ACCEPT NEW LOWER CEILING HEIGHT. MODIFY EXISTING ASSOCIATED LATERAL SUPPLY DUCT WORK IN SPACE ABOVE CORRIDOR 178 CEILING TO ACCEPT HIGHER CEILING AS REQUIRED. MODIFY CONNECTION TO EXISTING MAIN SUPPLY AIR DUCT IN CORRIDOR 166 IF REQUIRED TO ACCEPT CEILING HEIGHT CHANGES. AT PENETRATION THROUGH RATED WALLS, PROVIDE NEW FIRE DAMPER IN EXISTING DUCT WORK.
- EXISTING CEILING SUPPLY DIFFUSER RELOCATED INTO NEW SUSPENDED CEILING ASSEMBLY. MODIFY / EXTEND EXISTING DUCTWORK AS REQUIRED TO SHIFTED DIFFUSER LOCATION. AT PENETRATION THROUGH RATED WALL, PROVIDE NEW FIRE DAMPER IN EXISTING DUCTWORK.
- AT UNDERSIDE OF EXISTING ROOF STRUCTURE, REMOVE / LOOSEN EXISTING MECHANICAL AND ELECTRICAL ITEMS TO ALLOW ATTACHMENT OF 2 LAYERS 5/8" TYPE X GYPSUM BOARD (INCLUDING FIRE TAPING) TO U/S OF ROOF STRUCTURE (CEILING TYPE C1 - 1 HR FRR). REPAIR HOLES IN EXIST. VAPOR BARRIER PRIOR TO APPLYING GYP. BD. AFTER GYPSUM BOARD WORK IS COMPLETE, RE-SECURE ALL ITEMS TO ORIGINAL POSITION. EXISTING VAPOR BARRIER AND INSULATION TO REMAIN IN PLACE.
- EXISTING BARE WOOD STUD WALL (TYPICALLY ABOVE CEILING LINE) TO BE CLAD WITH 5/8" TYPE X GYPSUM BOARD BOTH SIDES (1 HOUR FRR AS PER BCBC 2018 APPENDIX D D-23.4) UP TO U/S EXISTING ROOF JOIST (INCLUDING FIRE TAPING).
- EXISTING BARE WOOD STUD WALL AND/OR PLYWOOD (TYPICALLY ABOVE CEILING LINE) TO BE CLAD WITH 5/8" TYPE X GYPSUM - EXPOSED SIDE ONLY (1 HOUR FRR AS PER BCBC 2018 APPENDIX D D-23.4) UP TO U/S EXISTING ROOF JOIST (INCLUDING FIRE TAPING).
- EXISTING CEILING ASSEMBLY INCLUDING MECHANICAL / ELECTRICAL TO REMAIN. PROTECT IN PLACE AND KEEP EXISTING AREA / FIXTURES CLEAN. VERIFY EXIST. EXTENT OF CEILING ASSEMBLY TO REMAIN ON SITE IN CONJUNCTION W/ REQUIRED WALL, MECHANICAL AND ELECTRICAL MODIFICATIONS WHICH REQUIRE ACCESS.

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PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME CRANBROOK 1,2,& CRANBROOK BRITISH COLUMBIA STAKE PROJECT ADDRESS 2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4 SHEET TITLE NEW CEILING PLAN PROJECT DESIGNATION 510-5234-1802-0101 EZA NUMBER 18101 CNA WORK ORDER FBW24586 DATE MAR 2019		
		SHEET NO. A-4





**1 DEMOLITION PLUMBING PLAN**  
A-5 SCALE: 1/4" = 1'-0"

**DEMOLITION PLUMBING GENERAL NOTES:**

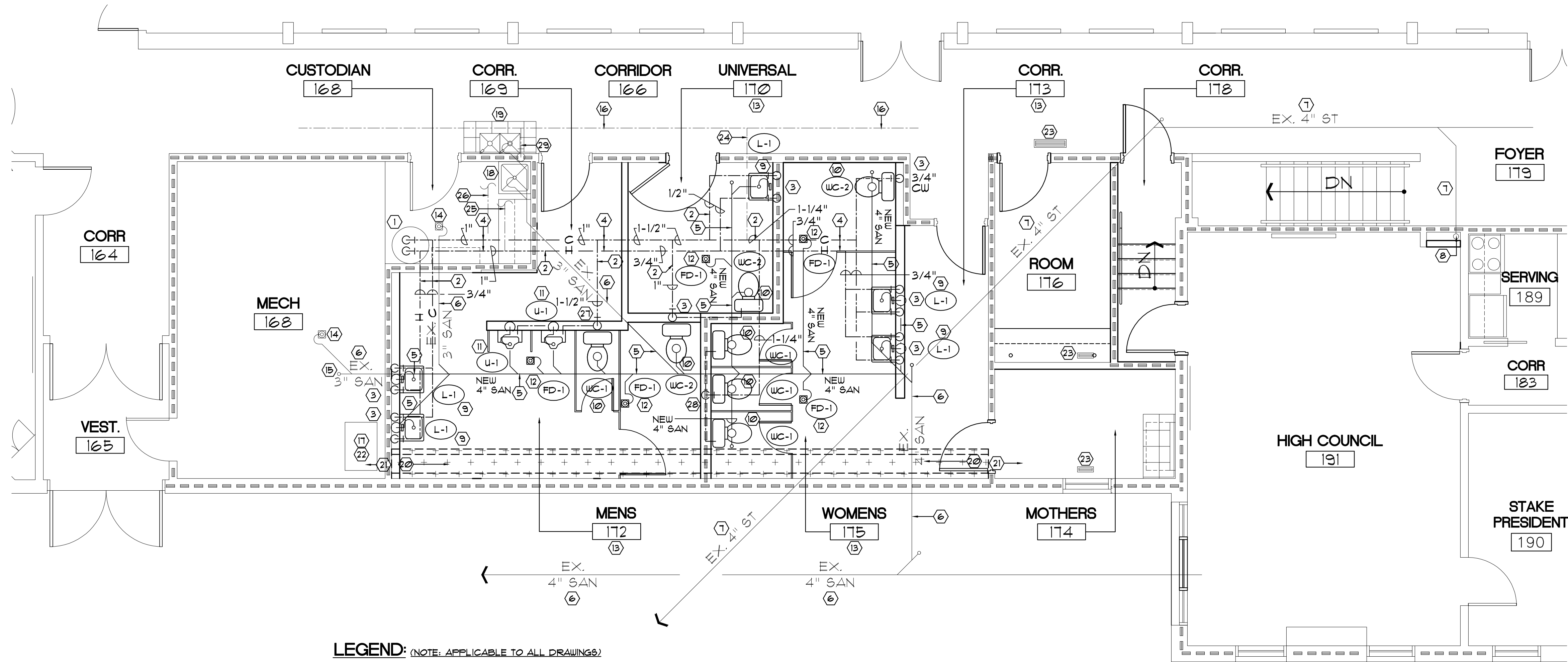
- ALL EXISTING PLUMBING INFORMATION SHOWN IS DERIVED FROM RECORD DRAWING INFORMATION AND IS APPROXIMATE ONLY. VERIFY ON SITE ACTUAL LOCATIONS AND INTERFACE POINTS REQUIRED BETWEEN NEW AND EXISTING WORK.
- EXISTING PIPE DIAMETERS SHOWN ARE APPROXIMATE ONLY. VERIFY ON SITE ACTUAL DIAMETERS.
- CONTRACTOR TO INVESTIGATE AND ALTER EXISTING VENTING AS REQUIRED TO SUIT NEW LAYOUT. PROVIDE NEW VENTING AS REQUIRED TO SUIT NEW PLUMBING FIXTURES AND NEW LAYOUT WHILE MEETING CURRENT PLUMBING CODE. INSULATE PIPE AS SPECIFIED AND COORDINATE NEW VENT PIPE ROUTE WITH EXISTING FINAL SECTION OF VENTING THRU ROOF (VTR) THAT IS TO REMAIN. VERIFY EXISTING VENTING LOCATION ON SITE.
- ADDITIONAL DEMOLITION OF EXISTING LINES MAY BE NECESSARY TO SUIT NEW WATER SUPPLY OR NEW SANITARY SERVICE PIPE DIAMETERS. COORDINATE DEMOLITION WITH NEW LAYOUT.
- NEW WATER LINES TO BE INSULATED AND ENCLOSED IN STUD WALLS. PROVIDE ADEQUATE DEMOLITION IN STUD WALLS TO SUIT NEW LAYOUT. SEE SPECIFICATIONS AND NEW PLUMBING A-6.
- SEE FLOOR PLAN DEMOLITION A-1 FOR EXTENTS OF CONCRETE FLOOR SLAB REMOVAL TO SUIT DEMOLITION AND NEW WORK AS WELL AS ADDITIONAL DEMOLITION KEYNOTES.

**DEMOLITION KEY NOTES:** KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

- EXISTING MOP SINK TO REMAIN.
- EXISTING WATER FOUNTAIN TO REMAIN.
- INTERCEPT AND REMOVE EXISTING HOT AND COLD WATER LINES AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- EXISTING DOMESTIC WATER LINES TO REMAIN (ABOVE CEILING) - SEE NEW PLUMBING A-6.
- INTERCEPT AND REMOVE SECTION OF EXISTING SANITARY LINE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- EXISTING SANITARY LINE TO REMAIN.
- EXISTING STORM LINE TO REMAIN.
- EXISTING ROOF DRAIN PIPING TO REMAIN.
- REMOVE EXISTING LAVATORY, FAUCET, SUPPLY, VENT, TRAP, AND WASTE PIPING, AND FITTINGS AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- REMOVE EXISTING TOILET INCLUDING SUPPLY, WASTE, AND VENT PIPING, WAX SEAL, AND FLANGE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- REMOVE EXISTING WALL MOUNTED URINAL INCLUDING FLUSH VALVE, SUPPLY, WASTE, AND VENT PIPING AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6. SALVAGE FLUSH VALVE TO OWNER.
- REMOVE EXISTING SHOWER FAUCET AND SUPPLY/MIXING CONTROLS INCLUDING PIPING. PROPERLY TERMINATE BACK TO MAIN WATER SOURCE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- REMOVE EXISTING FLOOR DRAIN INCLUDING DEEP SEAL TRAP AND WASTE LINE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- REMOVE EXISTING FLOOR CLEAN OUT ACCESS PLATE AS REQUIRED TO SUIT NEW LAYOUT - SEE NEW PLUMBING A-6.
- EXISTING FLOOR DRAIN TO REMAIN.
- EXISTING FLOOR CLEAN OUT TO REMAIN.
- EXISTING HOT WATER TANK TO REMAIN. LOCATION IS APPROXIMATE.
- EXISTING FURNACE F-3 TO REMAIN. LOCATION IS APPROXIMATE.

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SHEET TITLE DEMOLITION PLUMBING SUPPLY AND SANITARY PLAN		
PROJECT DESIGNATION 510-5234-1802-0101		
EZA NUMBER 18101	SHEET NO. A-5	
CNA WORK ORDER FBW24586		
DATE MAR 2019		





1 NEW PLUMBING PLAN  
A-6 SCALE: 1/4" = 1'-0"

LEGEND: (NOTE: APPLICABLE TO ALL DRAWINGS)

- WALL OR ITEM TO REMAIN  
- - - NEW ITEM OR CONSTRUCTION  
= = = MINIMUM 1 HOUR FIRE RESISTANCE RATING (FRR)

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	PIPE SIZE					REMARKS
		TRAP	WASTE	VENT	C.W.	H.W.	
WC-1	WATER CLOSET	INT.	4"	2"	1/2"	-	FLUSH TANK (LOW FLUSH, 16 GAL/FLUSH)
WC-2	WATER CLOSET	INT.	4"	2"	1/2"	-	FLUSH TANK, BARRIER FREE W/ SEAT COVER HEIGHT TO BE MIN. 11" / MAX. 19" ABOVE FLOOR
L-1	LAVATORY	1-1/2"	1-1/2"	1 1/2"	1/2"	1/2"	WALL HUNG, FLOOR CARRIER SUPPORTING 20"x18" COORDINATE CARRIER W/ WALL DEPTH
U-1	URINAL	INT.	3"	2"	3/4"	-	FLUSH VALVE, WALL HUNG, FLOOR CARRIER COORDINATE CARRIER W/ WALL DEPTH
FD-1	FLOOR DRAIN	4"	4"	2"	-	-	WITH DEEP SEAL P-TRAP AND TRAP SEAL INSERT (DETAIL 2/A-6) - SEE SPECIFICATIONS

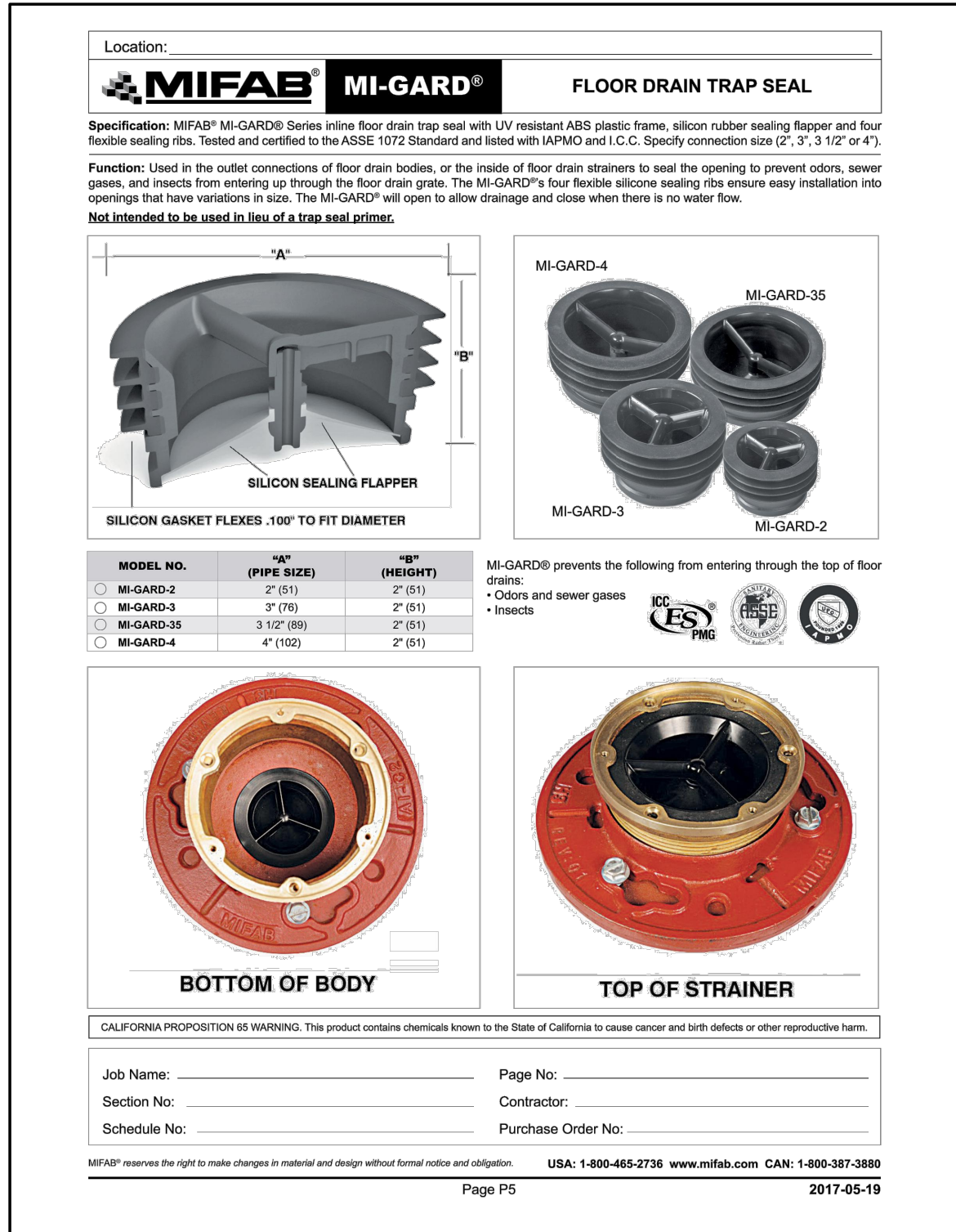
- 1 WHEN MOUNTED PER ARCHITECTURAL ELEVATIONS, BCBC 2018 ACCESSIBILITY REQUIREMENTS ARE SATISFIED. SEE ELEVATIONS A-8.  
2 WHERE MULTIPLE CLEAN-OUTS OR ACCESS DOORS ARE LOCATED IN THE SAME WALL, INSTALL AT UNIFORM HEIGHTS (ALIGN).  
3 TURN OVER ALL SPARE PARTS INCLUDING ANY INSTALLATION OR ADJUSTMENT TOOLS PROVIDED WITH EACH FIXTURE LISTED TO PM GROUP AT SUBSTANTIAL COMPLETION FOR MAINTENANCE SUPPLY.

NEW PLUMBING GENERAL NOTES:

1. ALL EXISTING PLUMBING INFORMATION SHOWN IS DERIVED FROM AS-BUILT DRAWING INFORMATION AND IS APPROXIMATE ONLY. VERIFY ON SITE ACTUAL LOCATIONS AND INTERFACE POINTS REQUIRED BETWEEN NEW AND EXISTING WORK.  
2. EXISTING PIPE DIAMETERS SHOWN ARE APPROXIMATE ONLY. VERIFY ON SITE ACTUAL DIAMETERS.  
3. CONTRACTOR TO INVESTIGATE AND ALTER EXISTING VENTING AS REQUIRED TO SUIT NEW LAYOUT. PROVIDE NEW VENTING AS REQUIRED TO SUIT NEW PLUMBING FIXTURES AND NEW LAYOUT WHILE MEETING CURRENT PLUMBING CODE. INSULATE PIPE AS SPECIFIED AND COORDINATE NEW VENT PIPE ROUTE WITH EXISTING FINAL SECTION OF VENTING THRU ROOF (VTR) THAT IS TO REMAIN. VERIFY EXISTING VENTING LOCATION ON SITE. EXISTING VTR TO RECEIVE NEW PENETRATION FIRESTOPPING SYSTEM AT INTERFACE WITH NEW (2) LAYERS 5/8" TYPE X GYPSUM BOARD AT UNDERSIDE OF EXISTING SLOPED ROOF JOISTS. SEE GENERAL NOTE 8 ON DRAWING A-1.  
4. PROVIDE NECESSARY FITTINGS AS REQUIRED TO CONNECT NEW SUPPLY, WASTE, AND VENT LINES BACK INTO EXISTING SYSTEM.  
5. NEW WATER LINES TO BE SECURED, INSULATED AND ENCLOSED IN STUD WALLS. PATCH EXISTING STUD WALLS AS REQUIRED TO SUIT NEW LAYOUT. SEE SPECIFICATIONS.  
6. SEE NEW FLOOR PLAN A-2 FOR EXTENTS OF CONCRETE FLOOR SLAB INFILL TO SUIT NEW LAYOUT AND NEW UNIFORM SLOPE TO NEW FLOOR DRAINS AS WELL AS ADDITIONAL NEW KEYNOTES.  
7. SEE SPECIFICATIONS FOR NEW SUPPLY, WASTE, AND VENT PIPE MATERIAL.  
8. SEE SPECIFICATIONS FOR PIPE INSULATION.  
9. SEE SPECIFICATIONS FOR NEGATIVE BACTERIA TEST AND CHLORINE PURGE OF DOMESTIC SYSTEM (BY CONTRACTOR) REQUIRED PRIOR TO SUBSTANTIAL COMPLETION.  
10. ALL NEW PLUMBING TO MEET CURRENT PLUMBING CODE.  
11. ALL NEW FIXTURES TO BE INDIVIDUALLY VENTED PRIOR TO COMBINING INTO VTR.  
12. CONTRACTOR TO RED LINE AS-BUILT DRAWINGS AS REQUIRED TO SHOW ANY APPROVED CHANGES OTHER THAN THAT SHOWN OR TO LOCATE ANY EXISTING SERVICE ENCOUNTERED BUT NOT SHOWN AS PART OF FINAL AS-BUILT DOCUMENTS.  
13. CONTRACTOR TO PREPARE A MAINTENANCE MANUAL - SEE SPECIFICATIONS AS PART OF FINAL CLOSE-OUT DOCUMENTS.


NEW KEY NOTES: KEY NOTES APPLY TO ENTIRE ROOM UNLESS SPECIFICALLY NOTED.

- 1 EXISTING HOT WATER HEATER TO REMAIN. REPLACE EXISTING 3/4" H & 4 C/W INLET WITH NEW 1" H & 4 C/W WATER INLET, RECONNECT EXISTING 1/2" H.W. RE-CIRCULATION LINE TO NEW 1" C/W INLET.  
2 PROVIDE ISOLATION VALVES (INCLUDING NECESSARY FITTINGS) TO NEW HOT AND COLD WATER LINES ABOVE EXISTING CEILING SERVING SUPPLY LINES TO NEW WASHROOM LAYOUT. PROVIDE VALVE ID TAGS. ROUTE EXTENDED NEW PIPING AS REQUIRED TO ALLOW MAINTENANCE ACCESS TO ISOLATION VALVES.  
3 NEW COLD AND/OR HOT SUPPLY PIPING (INCLUDING INSULATION AND NECESSARY FITTINGS) AS REQUIRED DN IN WALL TO SERVE NEW PLUMBING FIXTURES. SEE FLOOR PLAN FOR PIPE SIZE REQUIRED AND REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE CONNECTION SIZE.  
4 REPLACE ALL EXISTING DOMESTIC HOT AND COLD WATER LINE WITH NEW. SEE FLOOR PLAN FOR SIZES REQUIRED.  
5 NEW SANITARY LINE (INCLUDING NECESSARY FITTINGS) AS REQUIRED TO SUIT NEW LAYOUT - SEE FLOOR PLAN FOR PIPE DIAMETERS.  
6 EXISTING SANITARY LINE TO REMAIN.  
7 EXISTING STORM LINE TO REMAIN.  
8 EXISTING ROOF DRAIN PIPING TO REMAIN.  
9 NEW WALL HUNG SINK COMPLETE WITH NEW SUPPLY FITTINGS, DRAIN FITTINGS, AND NEW FAUCET. WASTE PIPE / P-TRAP UNDER SINK SHALL BE OFFSET AND INSULATED TO PROTECT AGAINST CONTACT. MOUNT PER ARCHITECTURAL ELEVATIONS TO MEET BCBC 2018 ACCESSIBILITY REQUIREMENTS.  
10 NEW TOILET C/W WAX SEAL, ALL SUPPLY FITTINGS, FLANGE, AND WASTE CONNECTIONS. SEE A-1 AND A-2 FOR ADDITIONAL DEMOLITION AND NEW REQUIREMENTS AT EACH TOILET LOCATION. INSTALL AS PER ARCHITECTURAL ELEVATIONS TO MEET BCBC 2018 ACCESSIBILITY REQUIREMENTS.  
11 NEW WALL HUNG URINAL C/W FLUSH VALVE, ALL SUPPLY FITTINGS, AND WASTE CONNECTIONS. SEE A-1 AND A-2 FOR ADDITIONAL DEMOLITION AND NEW REQUIREMENTS AT EACH URINAL LOCATION. INSTALL AS PER ARCHITECTURAL ELEVATIONS TO MEET BCBC 2018 ACCESSIBILITY REQUIREMENTS.  
12 NEW FLOOR DRAIN, TRAP SEAL INSERT AND ALL NECESSARY FITTINGS TIED TO NEW / EXISTING SANITARY LINE.  
13 PROVIDE NEW WALL AND FLOOR (AT TILE FINISH ONLY) CLEAN-OUTS AND ACCESS DOORS AS NECESSARY FOR FINAL ON SITE LAYOUT. REFER TO A-2 AND INTERIOR ELEVATIONS. SEE ALSO DETAIL 3/A-10.  
14 EXISTING FLOOR DRAIN TO REMAIN.  
15 EXISTING FLOOR CLEAN OUT TO REMAIN.  
16 EXISTING COLD WATER MAIN IN CORRIDOR CEILING TO REMAIN.  
17 EXISTING FURNACE F-3 TO REMAIN. LOCATION IS APPROXIMATE.  
18 EXISTING MOP SINK TO REMAIN.  
19 EXISTING WATER FOUNTAIN TO REMAIN.  
20 LOCATION OF NEW UNDER SLAB 14" DIA. RETURN AIR FIBERGLASS REINFORCED PLASTIC (FRP) DUCT IN 4" MINIMUM CONCRETE ENCASEMENT (TOP SIDE) AND 4" MINIMUM WASHED DRAIN ROCK ENCASEMENT (BOTTOM SIDE). COORDINATE CONC. COVER BASED ON MEETING EXIST. DUCT SLOPES WHICH DRAIN TOWARDS EXISTING RETURN AIR PLENUM. NEW RETURN AIR DUCT ASSEMBLY INFILL TO CONNECT TO EXISTING RETURN AIR DUCT ASSEMBLY THAT REMAINS IN PLACE. SEE DETAIL 4/A-10.  
21 LOCATION OF EXISTING UNDER SLAB RETURN AIR DUCT IN CONCRETE ENCASEMENT (TOP SIDE) AND WASHED DRAIN ROCK ENCASEMENT (BOTTOM SIDE) TO REMAIN.  
22 LOCATION OF EXISTING INSULATED CONCRETE RETURN AIR PLENUM UNDER FURNACE F-3 TO REMAIN.  
23 EXISTING RETURN AIR FLOOR GRILLE. PROTECT FROM CONSTRUCTION DEBRIS / DAMAGE. CLEAN AND REINSTALL.  
24 APPROX. LOCATION OF EXISTING 1-1/2" C/W LINE SERVING EXISTING WASHROOMS TO REMAIN, RE-CONNECT NEW C/W LINE TO EXISTING, VERIFY EXACT LOCATION ON SITE.  
25 APPROX. LOCATION OF EXISTING 3/4" H.W. LINE SERVING MOP SINK AND KITCHEN, RE-CONNECT TO NEW 1" H.W. MAIN. VERIFY LOCATION ON SITE.  
26 APPROX. LOCATION OF EXISTING 1/2" H.W. RE-CIRCULATION LINE, SERVING KITCHEN, RE-CONNECT TO NEW 1" C/W INLET AT HOT WATER HEATER.  
27 1-1/2" C/W LINE DN IN WALL C/W TEEOFFS TO SERVE ITEM WC-1 AND U-1's.  
28 1-1/4" C/W LINE DN IN WALL C/W TEEOFFS TO SERVE ITEM WC-1's.  
29 EXISTING 3/4" C/W LINE SERVING EXISTING MOP SINK AND DRINKING FOUNTAIN TO REMAIN.

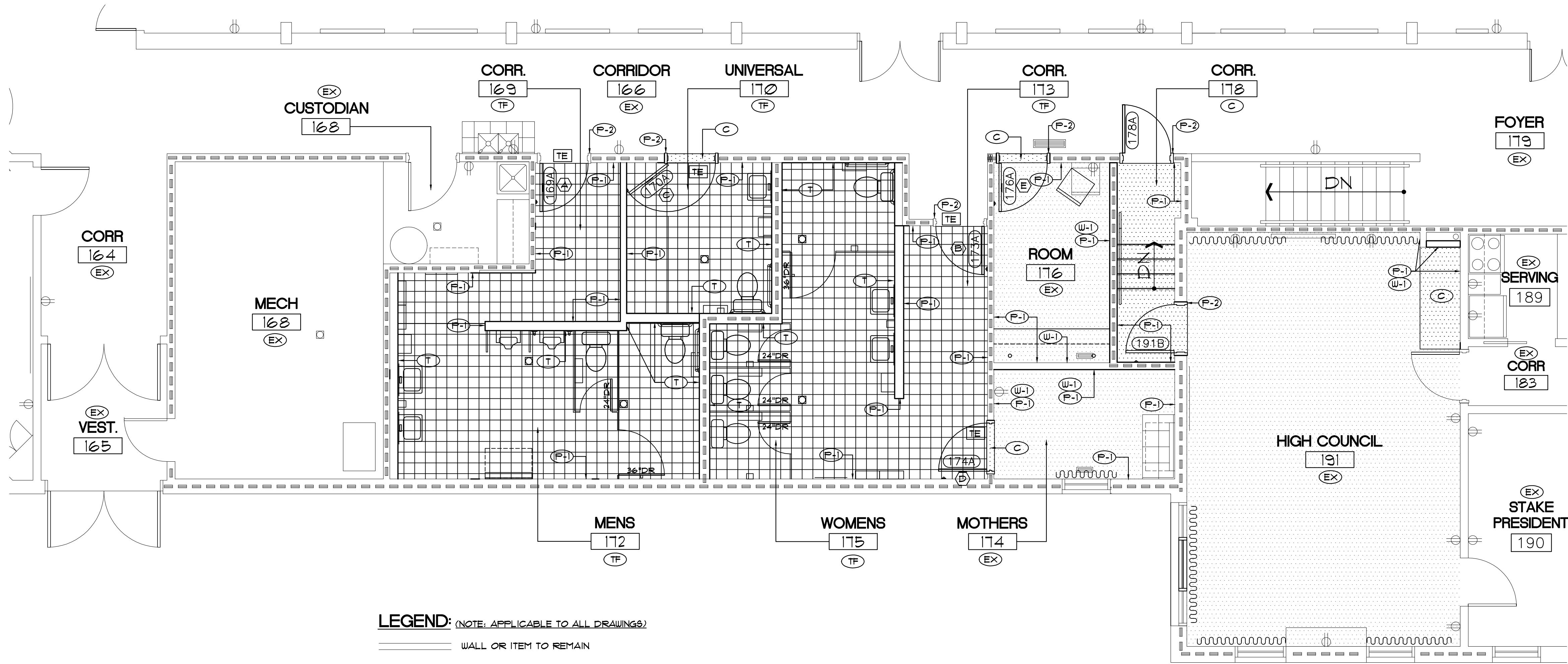


NOTE: COORDINATE WITH FLOOR DRAIN SIZE AND TYPE

2 FLOOR DRAIN TRAP SEAL DETAIL  
A-6 SCALE: NTS

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1 NEW FINISHES PLAN  
A-7 SCALE: 1/4" = 1'-0"

LEGEND: (NOTE: APPLICABLE TO ALL DRAWINGS)

- WALL OR ITEM TO REMAIN  
— NEW ITEM OR CONSTRUCTION  
- - - MINIMUM 1 HOUR FIRE RESISTANCE RATING (F.R.R.)

FLOOR FINISH LEGEND:

- (TF) NEW 8" x 8" CERAMIC FLOOR TILE - DALTILE CD05 BIANCO ALPI. SEE SPECIFICATIONS FOR CRACK ISOLATION MAT AND MATERIALS.  
FLOOR GROUT - SEE SPECIFICATIONS.  
(C) NEW OR SALVAGED CARPET AND BASE BY OWNER - SEE A-2 AND ELEVATIONS A-9.  
(EX) EXISTING TO REMAIN. PROTECT AS REQUIRED.  
(TE) METAL TILE EDGER BY TILE INSTALLER - SEE SPECIFICATION FOR PROFILE.

FLOOR FINISH NOTES:

- PROVIDE MATCHING COVERED TILE BASE AS SPECIFIED AT TERMINATION OF ALL WALL TO FLOOR TILE. PROVIDE OUTSIDE CORNER COVERED PIECES AND BULLNOSE PIECES AT TERMINATIONS TO GYPSUM BOARD TO SUIT NEW LAYOUT.
- REFER TO INTERIOR ELEVATIONS A-8 FOR EXTENT OF WALL TILE AND ACCESSORY MOUNTING HEIGHTS.
- REFER TO SPECIFICATIONS FOR SCHLUTER TRIM AT INSIDE CORNERS AND TILE / CARPET TRANSITIONS.
- OWNER TO PATCH ALL NEW / SALVAGE CARPET INTO EXISTING AND INSTALL ALL NEW / SALVAGE CARPET BASE WHERE SHOWN.
- CERAMIC TILE BEHIND ALL ACCESSORIES.
- PROVIDE 5/8" 'DENS-SHIELD' TILE BACKER ON NEW TILED WALLS - SEE SPECIFICATIONS. SEE A-2 FOR LOCATION OF 5/8" TYPE 'X' 'DENS-SHIELD' TILE BACKER.

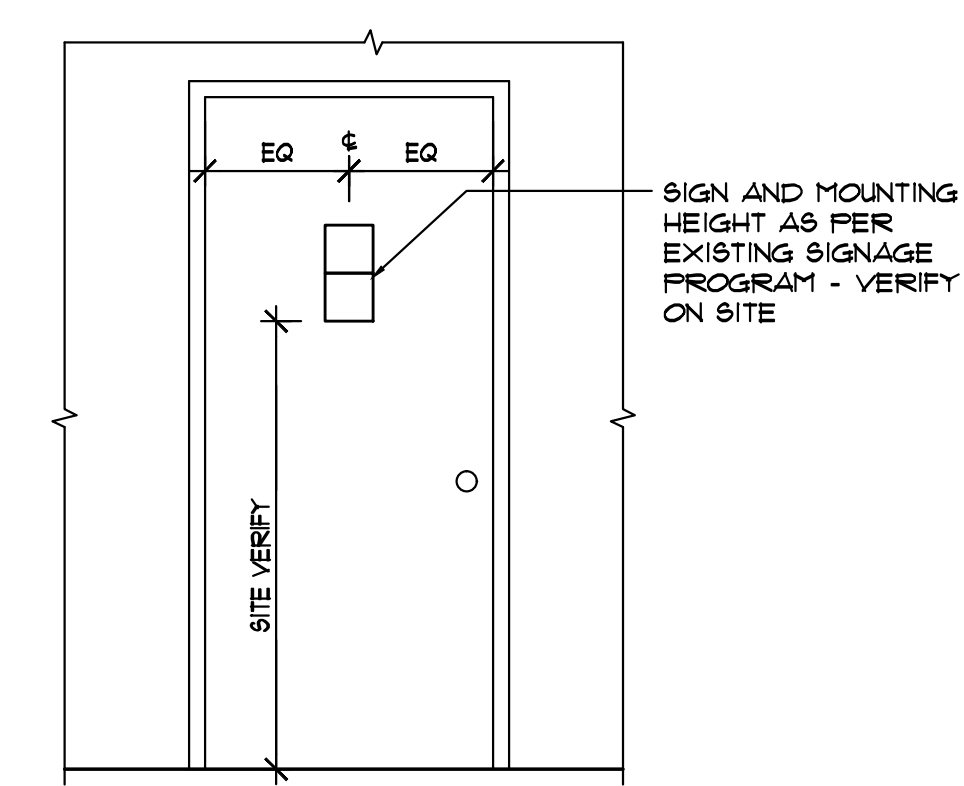
WALL FINISH LEGEND:

- (T) NEW 4 1/4" CERAMIC WALL TILE (LOWER) - DALTILE 0135 "ALMOND" SEMI-GLOSS W/ COVERED BASE AND COVERED CORNER TRIMS.  
NEW 4 1/4" CERAMIC WALL TILE (UPPER) - DALTILE X135 "ALMOND" MATTE.  
WALL GROUT - SEE SPECIFICATIONS.  
(F-1) PAINTED GYPSUM BOARD - MATCH EXISTING. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.  
(F-2) PAINTED HM FRAMES - MATCH EXISTING. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.  
(W-1) NEW 916L WALL COVERING - MATCH EXISTING. SEE INTERIOR ELEVATIONS AND SPECIFICATIONS.

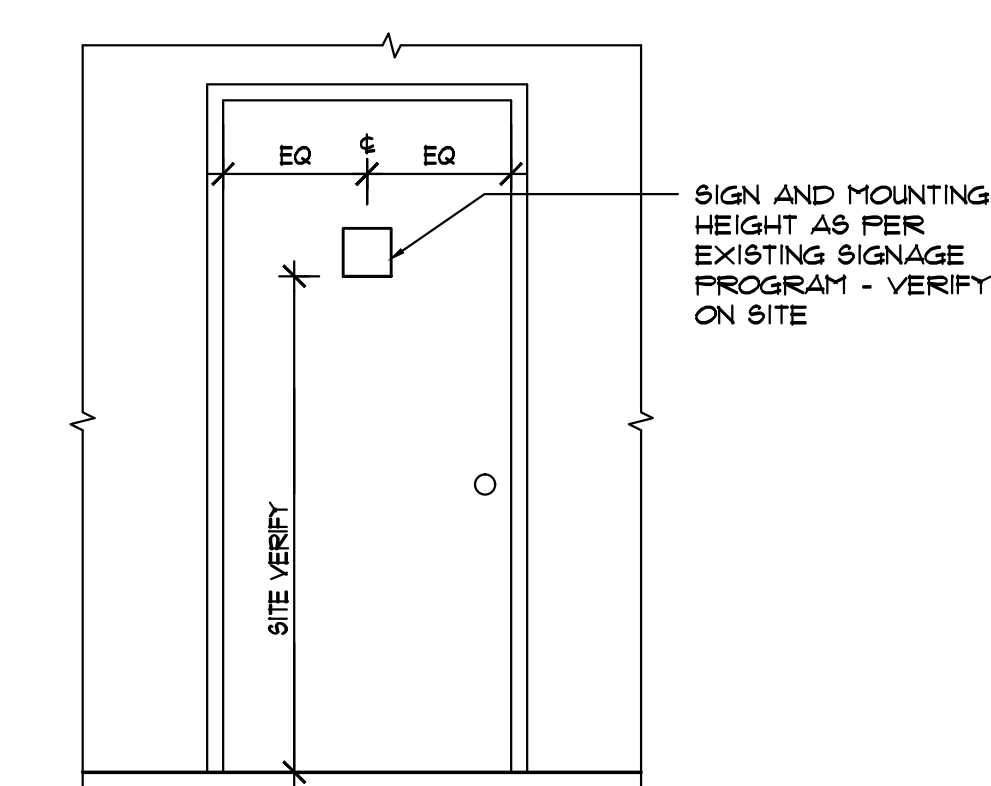
ROOM SIGNAGE:

SIGNAGE ROOM NAME OR NUMBER	QUANTITY	DETAIL
(A) MEN (REUSE EXISTING)	1 PLUS 1	A/A-1
(B) WOMEN (REUSE EXISTING)	1 PLUS 1	A/A-1
(C) UNIVERSAL (NEW)	1 PLUS 1	A/A-1
(D) MOTHERS' LOUNGE (REUSE EXISTING)	1	B/A-1
(E) ROOM NAME (NEW) (SEE NOTE 2)	1	B/A-1

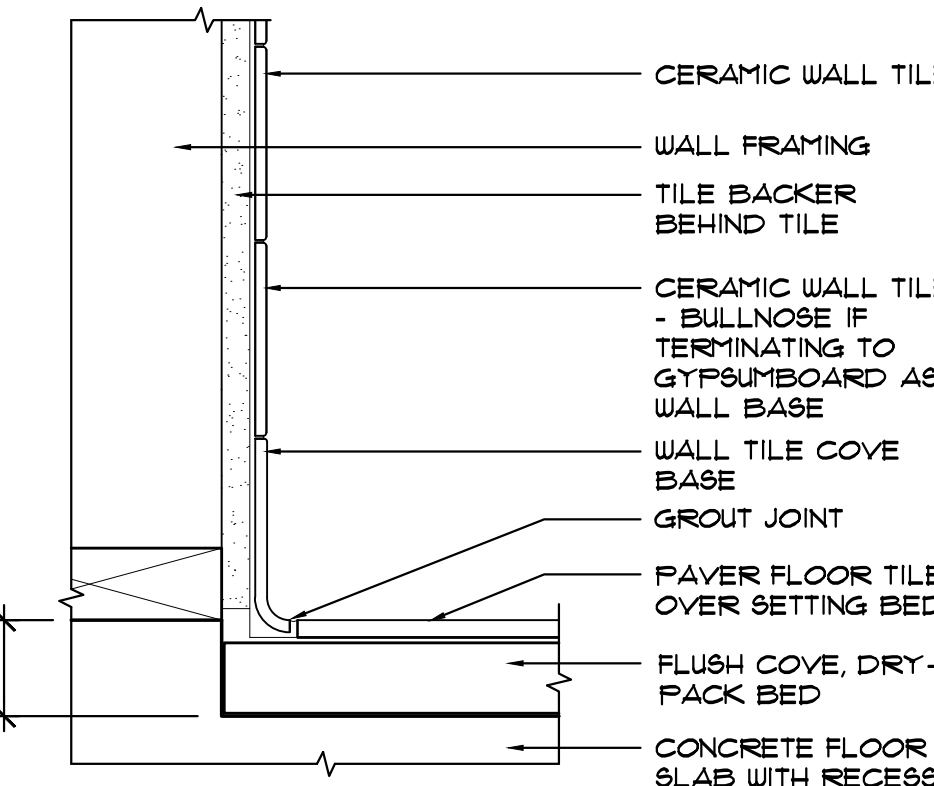
- NOTE:  
1. SIGNAGE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.  
2. OWNER TO DETERMINE ROOM NAME.



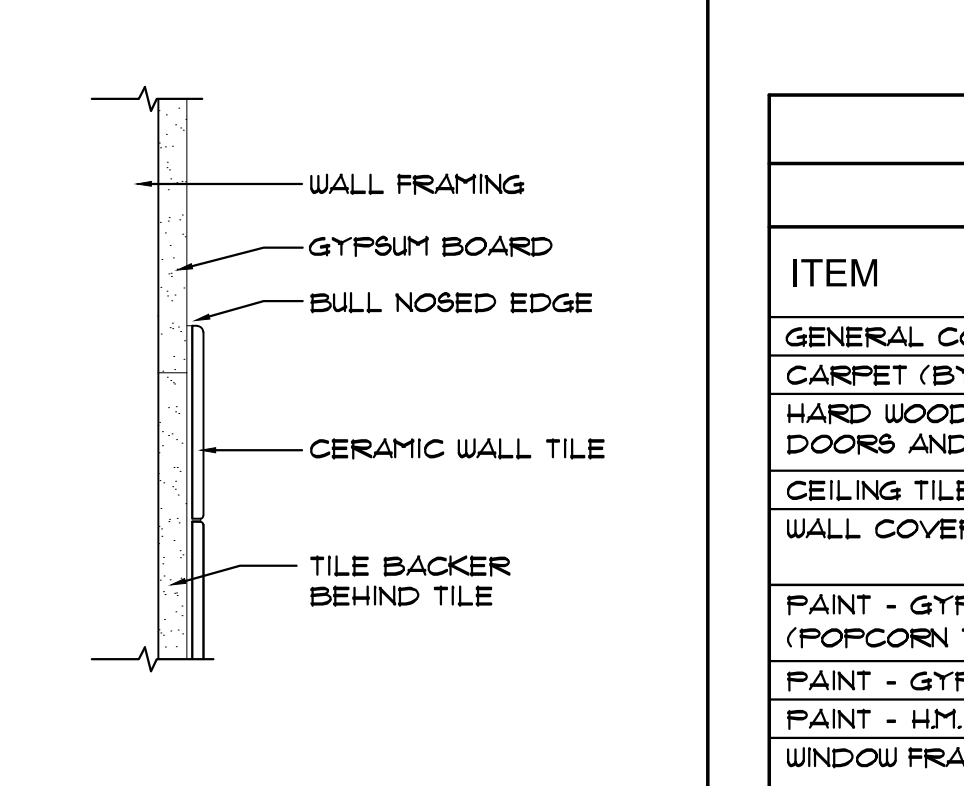
A SIGN LOCATION ON DOOR  
A-7 SCALE: 1/2" = 1'-0"



B SIGN LOCATION ON DOOR  
A-7 SCALE: 1/2" = 1'-0"



C COVERED TILE BASE  
A-7 SCALE: 3" = 1'-0"



D WALL TILE EDGE  
A-7 SCALE: 3" = 1'-0"

COLOUR SCHEDULE  
INTERIOR COLOR SCHEME

ITEM	COLOR
GENERAL COLOR SCHEME	MATCH EXISTING BUILDING STANDARD
CARPET (BY OWNER)	TO MATCH EXISTING
HARD WOOD (OAK) DOORS AND TRIM	NEW CUSTOM STAIN SIMILAR TO LDS 95. VERIFY ON SITE TO MATCH EXISTING
CEILING TILE	SEE SPECIFICATIONS
WALL COVERING "A" - 916L	SIMILAR TO LDS TOPAZ. VERIFY ON SITE TO MATCH EXISTING
PAINT - GYP. BD. CEILING (POPCORN TEXTURE)	CEILING WHITE
PAINT - GYPSUM BD. WALL	VERIFY ON SITE TO MATCH EXISTING WHITE
PAINT - HM. DOOR FRAMES	VERIFY ON SITE TO MATCH EXISTING WHITE
WINDOW FRAMES	VERIFY ON SITE TO MATCH EXISTING ANNOXIDIZED ALUMINUM

DOOR SCHEDULE

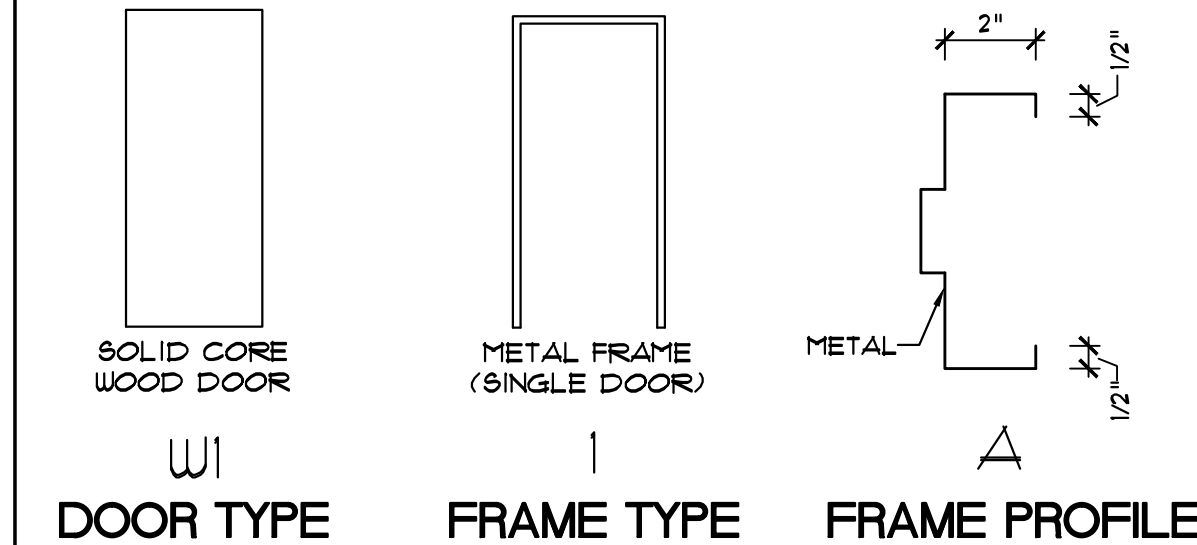
MARK	ROOM	DOOR			FRAME			FIRE RATING (DOOR - MINUTES)	PROFILE	FRAME TYPE	DETAILS		FIRE RATING (FRAME - MINUTES)	HARDWARE GROUP	KEYING	THRESHOLD	REMARKS
		DOOR TYPE	PAIR	SINGLE	SIZE	HEAD	JAMB				HEAD	JAMB					
169A	169	WI			61	20	Δ	1	EXIST	EXIST	20	20	20	20	-	TE	REUSE EXISTING RATED FRAME
170A	170	WI			61	20	Δ	1	F/A-10	E/A-10	45	21	-	TE	-	TE	-
173A	173	WI			61	20	Δ	1	EXIST	EXIST	20	20	-	TE	-	TE	REUSE EXISTING RATED FRAME
174A	174	WI			61	20	Δ	1	F/A-10	E/A-10	45	22	-	TE	-	TE	-
176A	176	WI			61	20	Δ	1	F/A-10	E/A-10	45	23	44B34	-	-	-	REUSE EXISTING CYLINDER
178A	178	WI			61	20	Δ	1	F/A-10	E/A-10	45	23	44AB42	-	-	-	EXISTING JAMB / HEAD STRUCTURE TO BE REUSED
191B	191	WI			61	20	Δ	1	F/A-10 (91M)	E/A-10 (91M)	45	22	-	-	-	-	EXISTING JAMB / HEAD STRUCTURE TO BE REUSED IF POSSIBLE. SEE DOOR / FRAME NOTE 4 BELOW.

- S SIZE  
61 3'-0" x 7'-0" x 1 3/4"  
T THRESHOLD

TE - METAL TILE EDGER- SEE SPECIFICATIONS FOR PROFILES

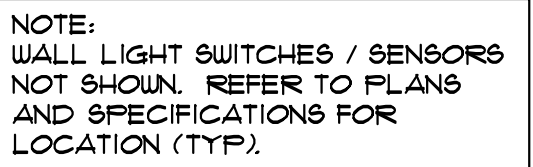
DOOR / FRAME NOTES:

- NEW DOORS TO BE SET TO CLEAR FINISHED FLOOR SURFACE BY 1/4".
- SEE PLANS FOR RE-PAINTING OF EXISTING FRAMES.
- SEE A/A-10 FOR DOOR SEAL INSTALLATION. CLEAN FRAMES PRIOR TO INSTALL.
- NEW DOOR POSITION BASED ON LOCATION OF FORMER DOOR ROUGH OPENING (R.O.) CLOSED IN BY PRIOR RENOVATIONS. VERIFY ACTUAL R.O. ON SITE AND COORDINATE WITH NEW DOOR POSITION. IF ON SITE VERIFIED FORMER R.O. IS DIFFERENT, CONTACT ARCHITECT TO DISCUSS IF MINOR DOOR POSITION SHIFT IS ACCEPTABLE OR IF WALL FRAMING MODIFICATIONS ARE REQUIRED TO ACCEPT NEW DOOR AS SHOWN.
- NEW DOORS TO BE FIELD FINISHED TO MATCH EXISTING STAIN.



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PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME CRANBROOK 1,2,& CRANBROOK BRITISH COLUMBIA STAKE PROJECT ADDRESS 2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4 SHEET TITLE NEW FINISHES PLAN, DETAILS AND SCHEDULES PROJECT DESIGNATION 510-5234-1802-0101 EZA NUMBER 18101 CNA WORK ORDER FBW24586 DATE MAR 2019 SHEET NO. A-7		





A-8 ) SCALE: 1/4" = 1'-0"



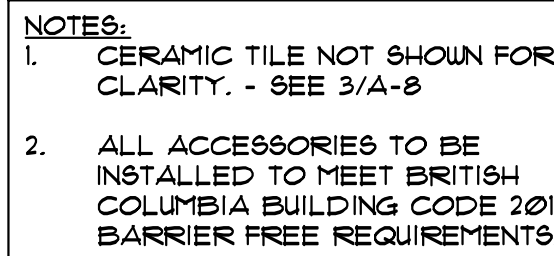
1. CENTER THE TILE ON WALLS. IF LESS THAN 1/2 TILE WIDTH AT PERIMETER, THEN RE-CENTER TILE ON A TILE. DON'T START WITH A FULL TILE AND END WITH A CUT TILE. NO "SLIVER" TILES ALLOWED.

A-8 SCALE: 1/4" = 1'-0"


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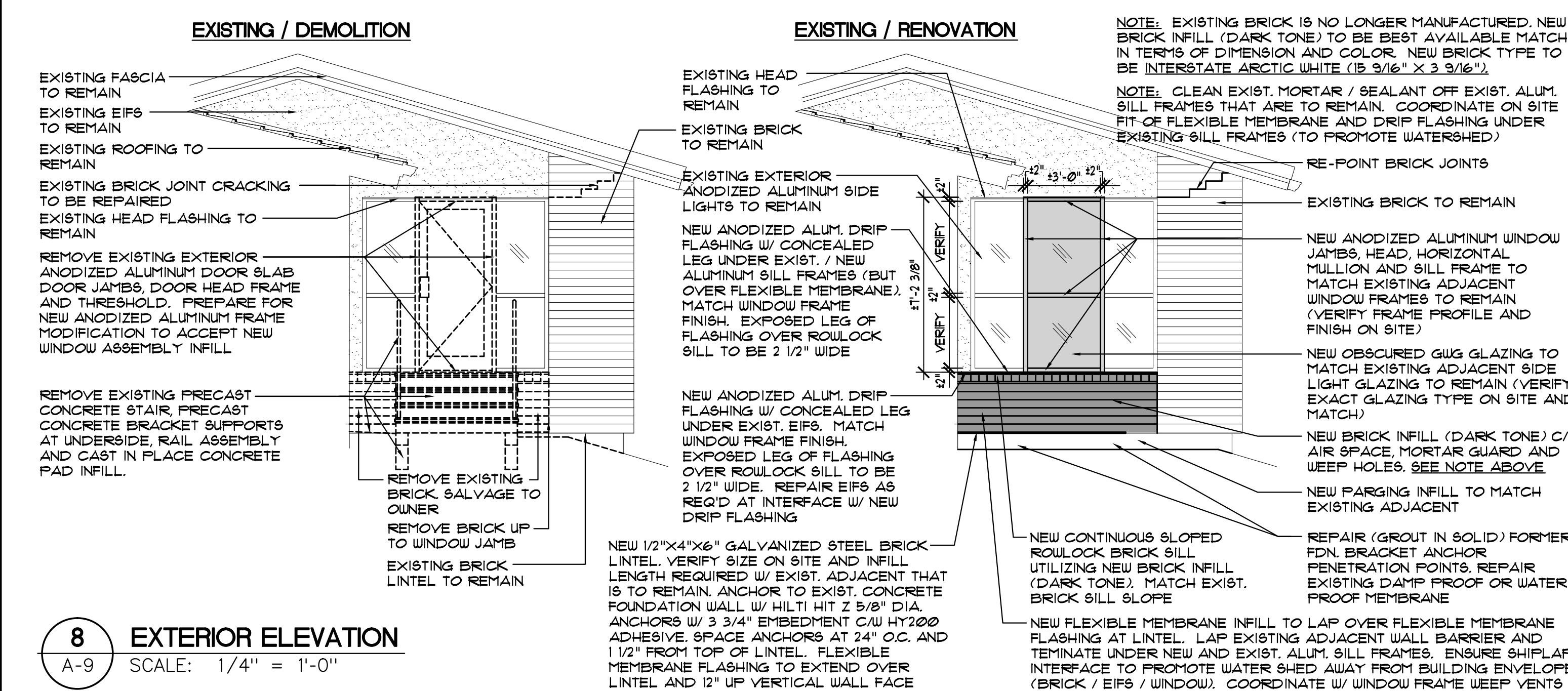
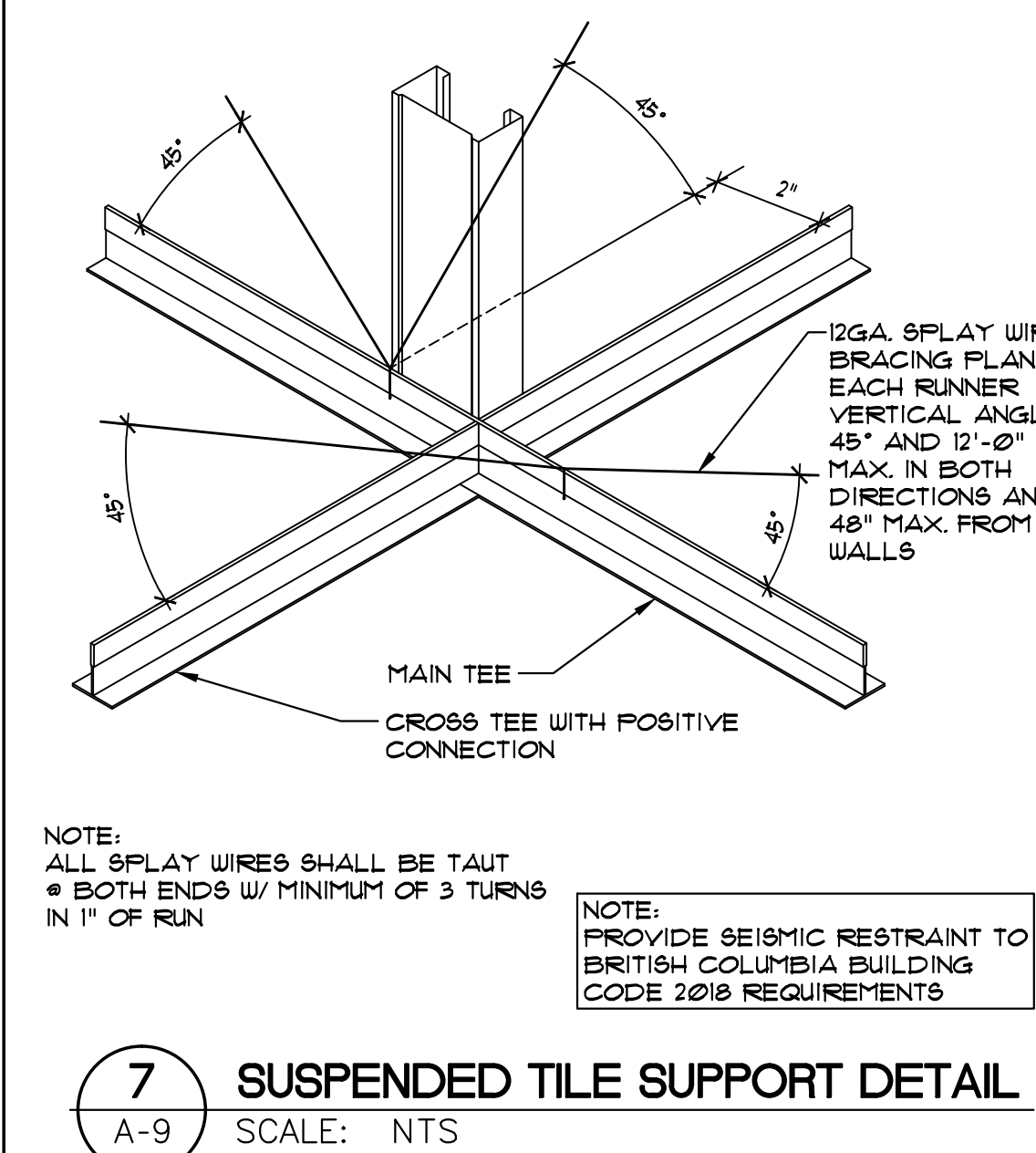
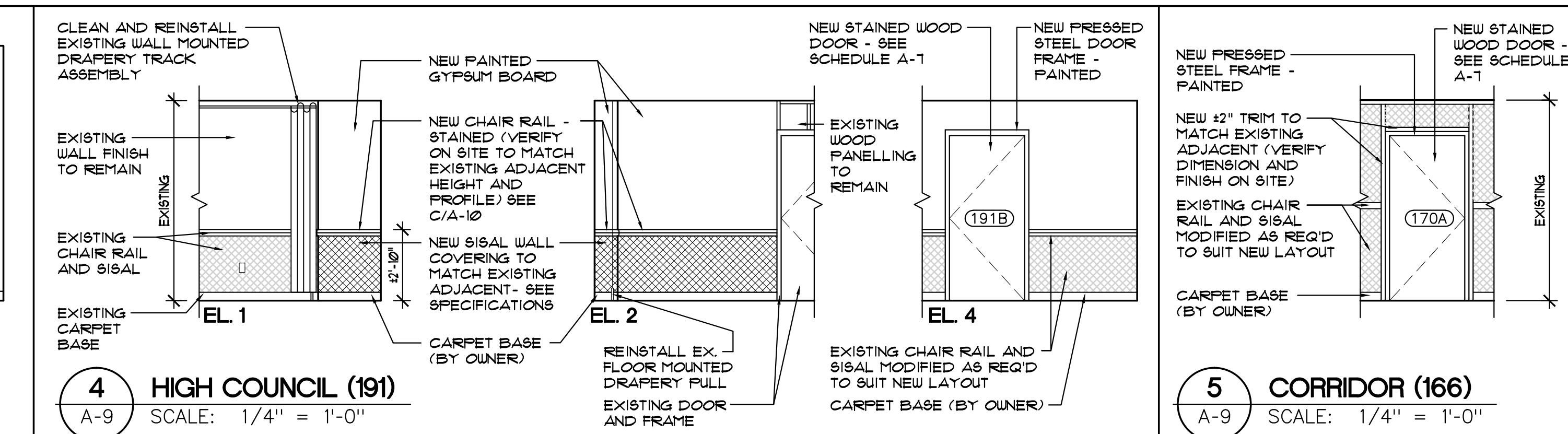
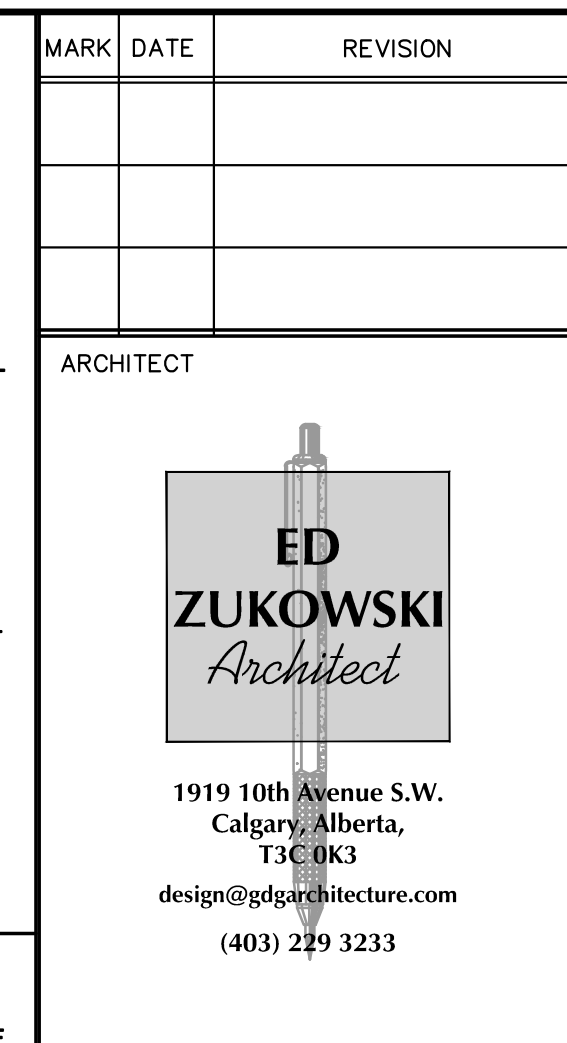
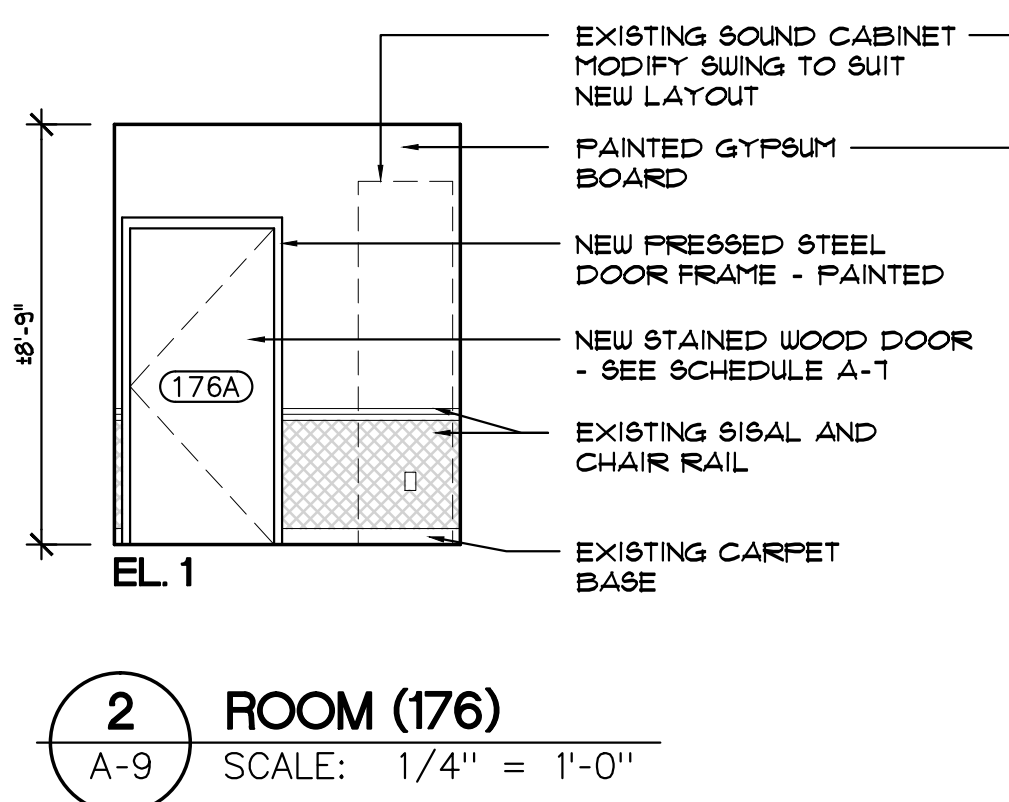
A-8 SCALE: 1/4" = 1'-0"












A-8 ) SCALE: 1/4" = 1'-0"

MARK	DATE	REVISION
ARCHITECT		
<div><p>1919 10th Avenue S.W. Calgary, Alberta, T3C 0K3 design@gdgarchitecture.com (403) 229 3233</p></div>		
CONSULTANTS		
<p>MECHANICAL / ELECTRICAL Acorn Consulting Engineering Group Ltd. 1921-10th Avenue S.W. Calgary, Alberta T3C 0K3 (403) 228-2827</p>		
STAMP		
STAMP		
PROJECT FOR		
<p><b>THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS</b></p>		
PROJECT NAME		
<p><b>CRANBROOK 1,2,&amp; CRANBROOK BRITISH COLUMBIA STAKE</b></p>		
PROJECT ADDRESS		
<p><b>2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4</b></p>		
SHEET TITLE		
<p><b>NEW INTERIOR ELEVATIONS</b></p>		
PROJECT DESIGNATION		
<p><b>510-5234-1802-0101</b></p>		
EZA NUMBER	SHEET NO.	
18101		
CNA WORK ORDER		
FBW24586	A-8	
DATE		
MAR 2019		





DIMENSION OF LONGEST SIDE, INCHES	SHEET METAL GAGE (ALL FOUR SIDES)	MINIMUM REINFORCING ANGLE SIZE AND MAXIMUM LONGITUDINAL SPACING BETWEEN TRANSVERSE JOINTS &/OR INTERMEDIATE REINFORCING	TRANSVERSE REINFORCING (1)					
			AT JOINTS					
			MIN. H. IN.	 DRIVE SLIP  PLAIN S SLIP  RECOMMENDED GAGE	 HEMMED S SLIP  RECOMMENDED GAGE	 ALTERNATING BAR SLIP  RECOMMENDED GAGE	 REINFORCED BAR SLIP  RECOMMENDED GAGE	
UP THRU 12	26	NONE REQUIRED	1	26	26	24	24	
13 - 18	24	NONE REQUIRED	1	24	24	24	24	
19 - 30	24	1"x1"x1/8" @ 60 IN.	1	-	24	24	24	
31 - 36	22	1"x1"x1/8" @ 60 IN.	1	-	-	22	22	

(1) TRANSVERSE REINFORCING SIZE IS DETERMINED BY DIMENSION OF SIDE TO WHICH ANGLE IS APPLIED.

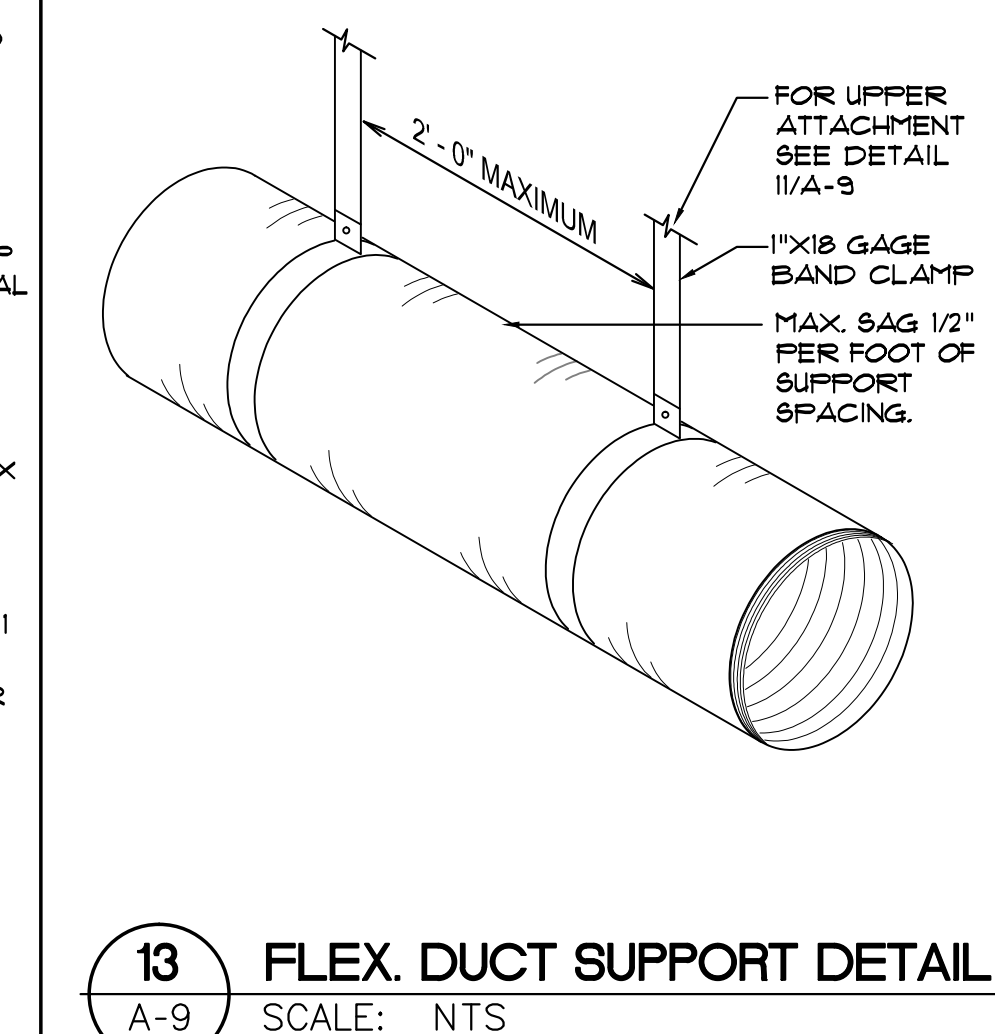
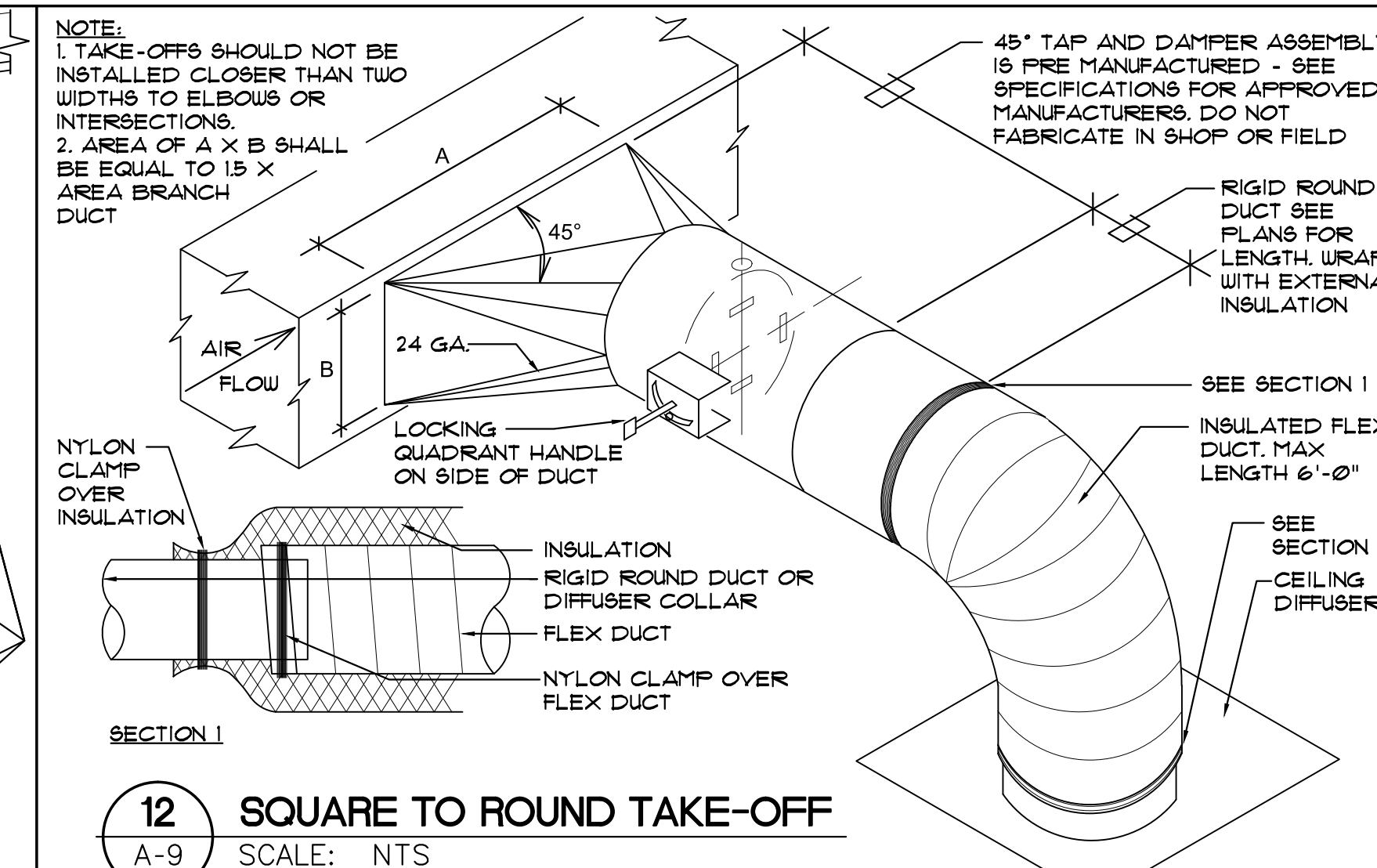
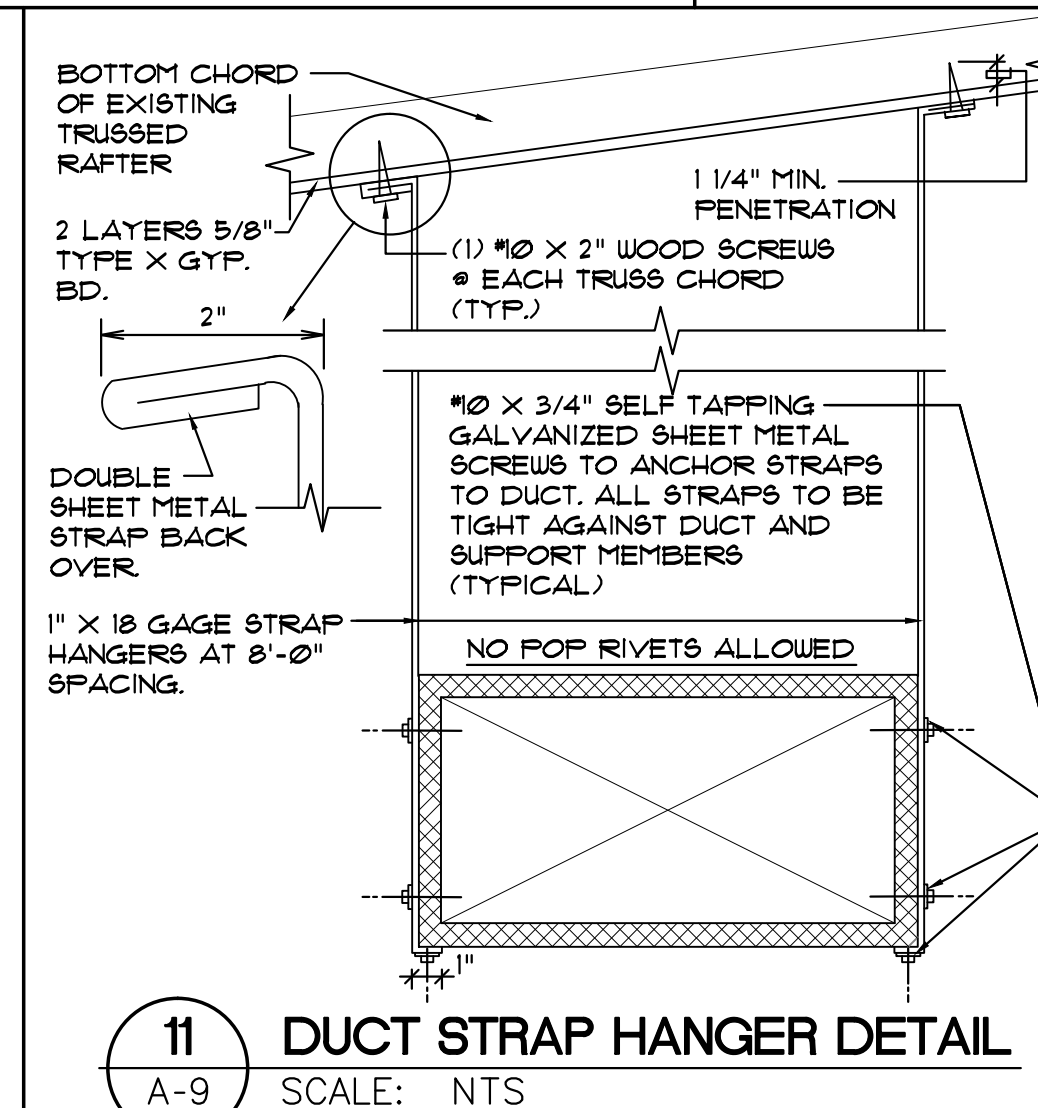
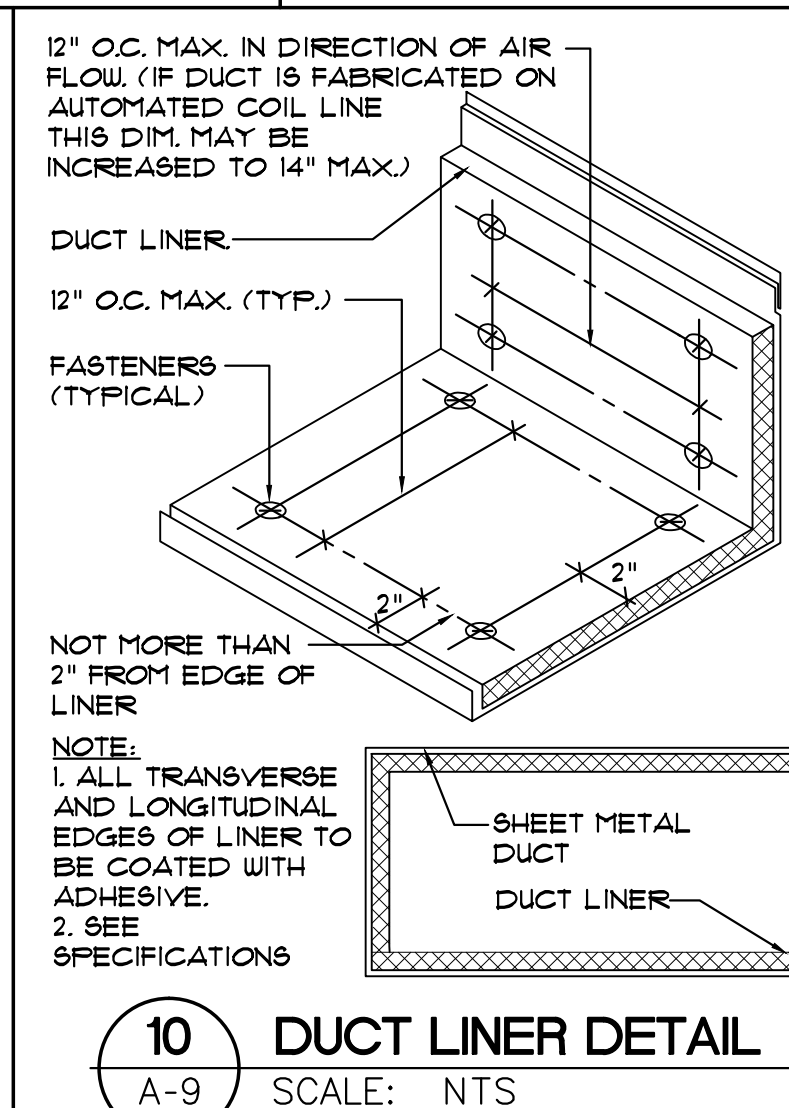
(2) LONGITUDINAL JOINTS TO BE PITTSBURG OR SNAP LOCK TYPE.

9

DUCT CONSTRUCTION DETAIL

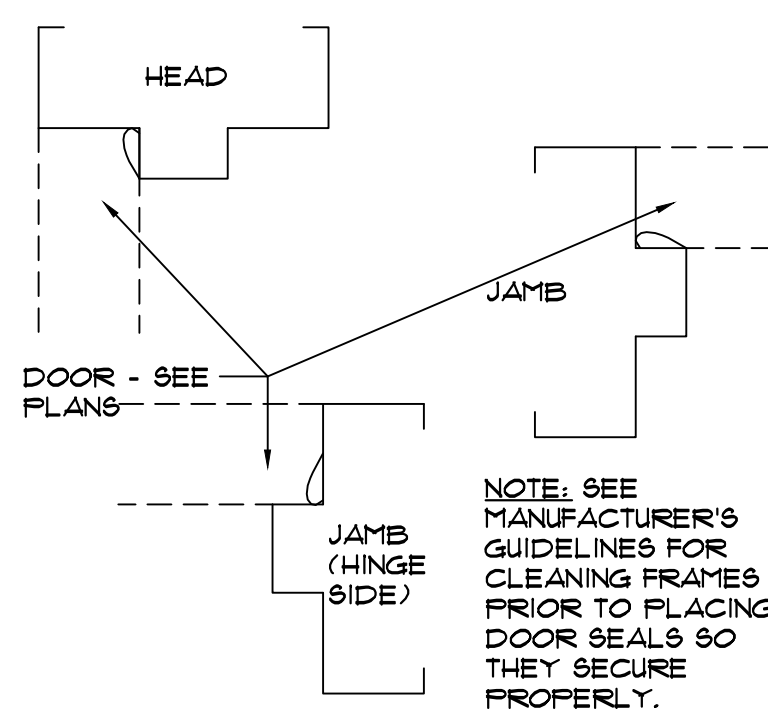
A-9

SCALE: NTS

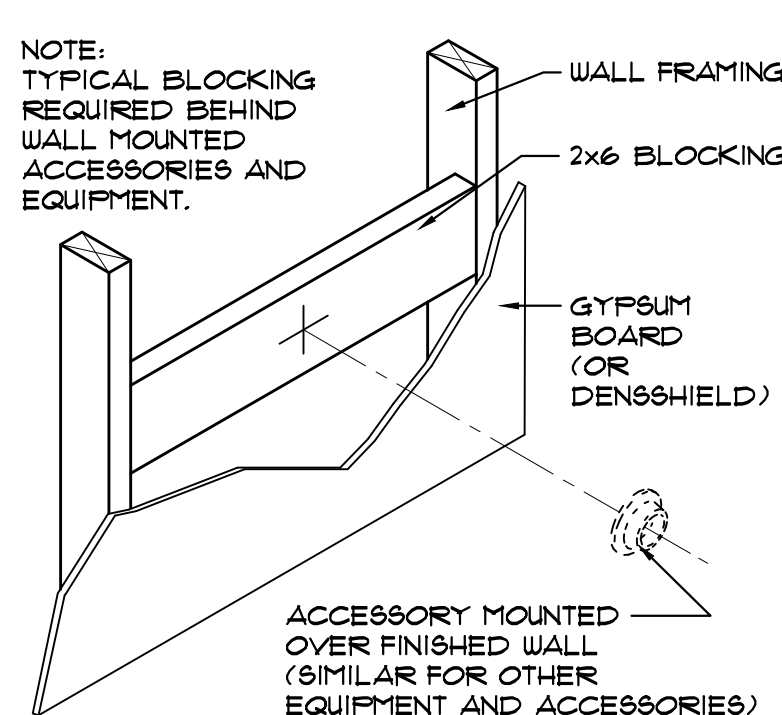


CONSULTANTS	
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PROJECT FOR <b>THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS</b> PROJECT NAME <b>CRANBROOK 1,2,&amp; CRANBROOK BRITISH COLUMBIA STAKE</b> PROJECT ADDRESS <b>2210 2ND STREET NORTH CRANBROOK, B.C. V1C 5H4</b>	
SHEET TITLE <b>ELEVATIONS - INTERIOR / EXTERIOR AND DETAILS</b>	
PROJECT DESIGNATION <b>510-5234-1802-0101</b>	
EZA NUMBER <b>18101</b>	SHEET NO. <b>A-9</b>
CNA WORK ORDER <b>FBW24586</b>	
DATE	

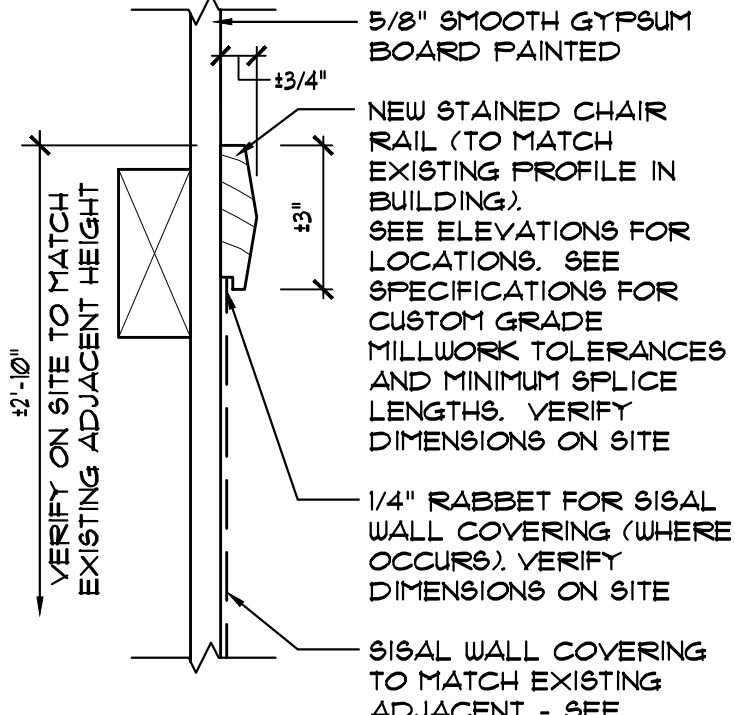




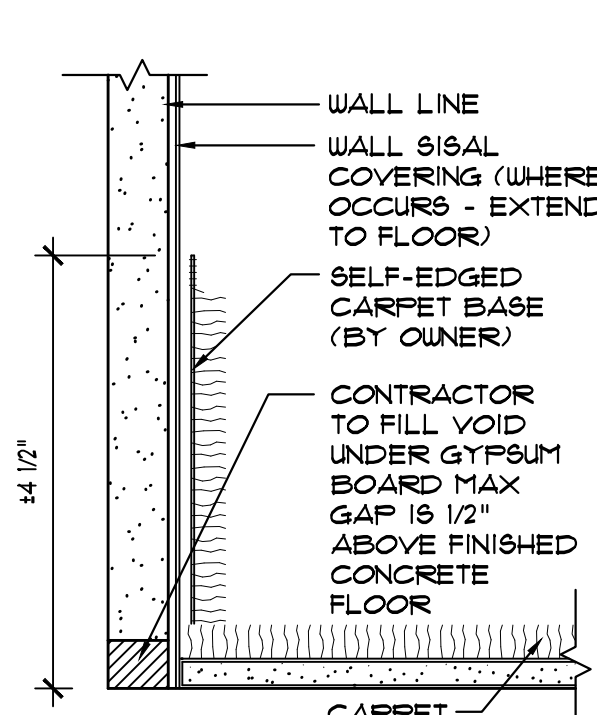
**A DOOR SEAL INSTALL**  
A-10 SCALE: 3" = 1'-0"



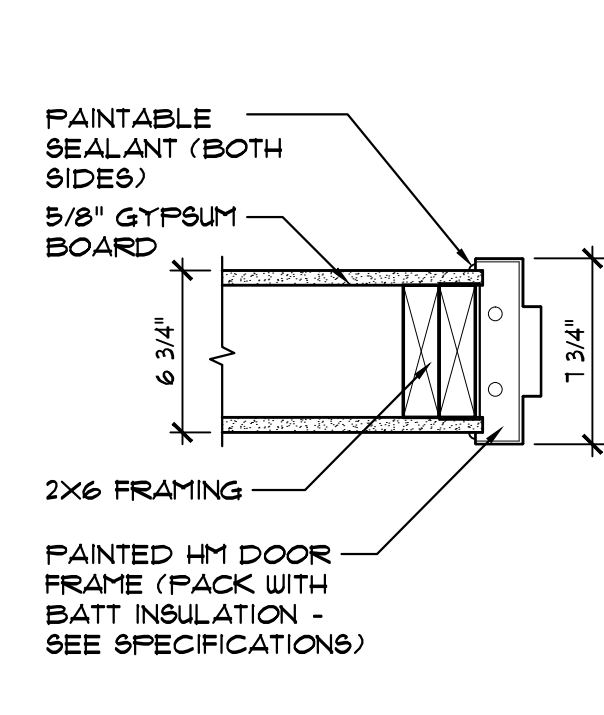
**B ACCESSORY MOUNTING**  
A-10 SCALE: NTS



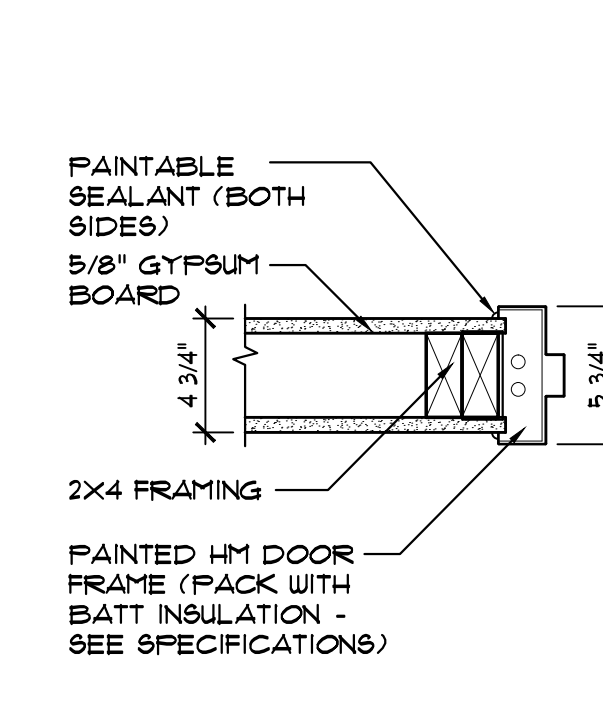
**C CHAIR RAIL**  
A-10 SCALE: 3" = 1'-0"



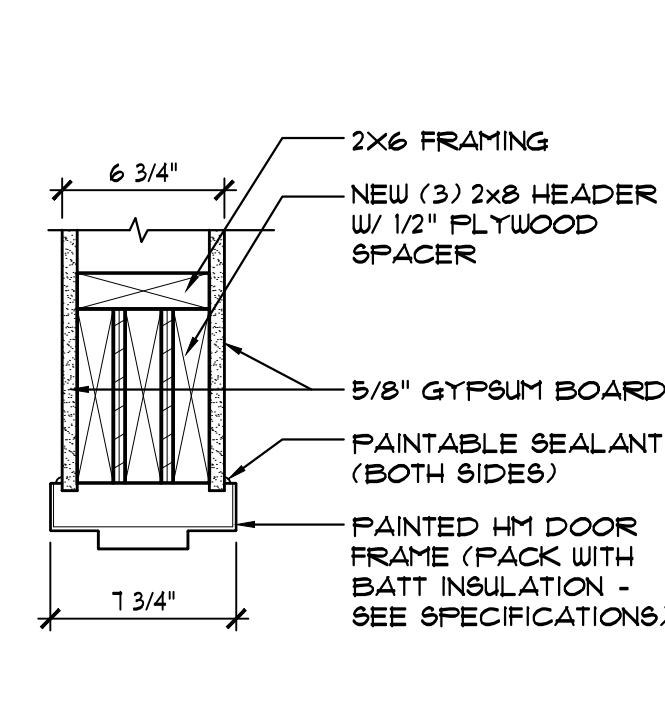
**D CARPET BASE**  
A-10 SCALE: 6" = 1'-0"



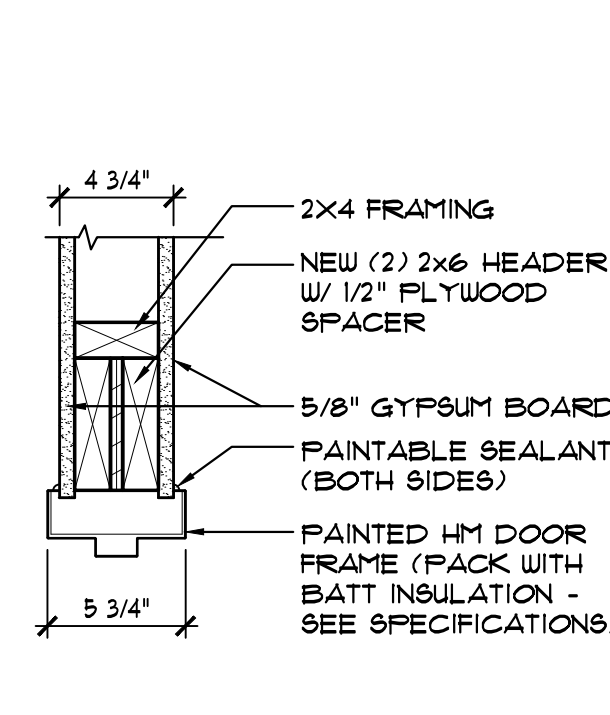
**E DOOR JAMB**  
A-10 SCALE: 1 1/2" = 1'-0"



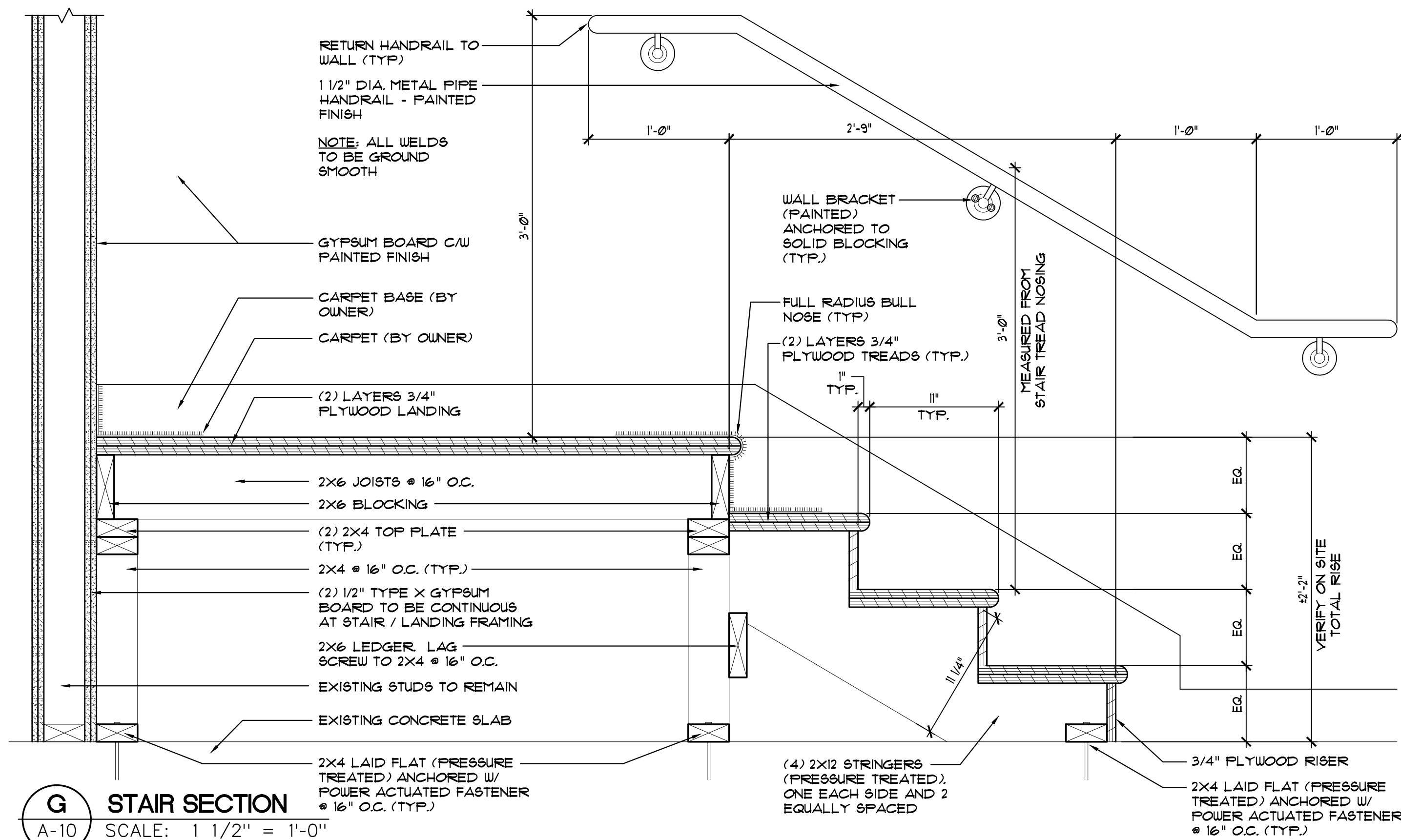
**E1 DOOR JAMB**  
A-10 SCALE: 1 1/2" = 1'-0"



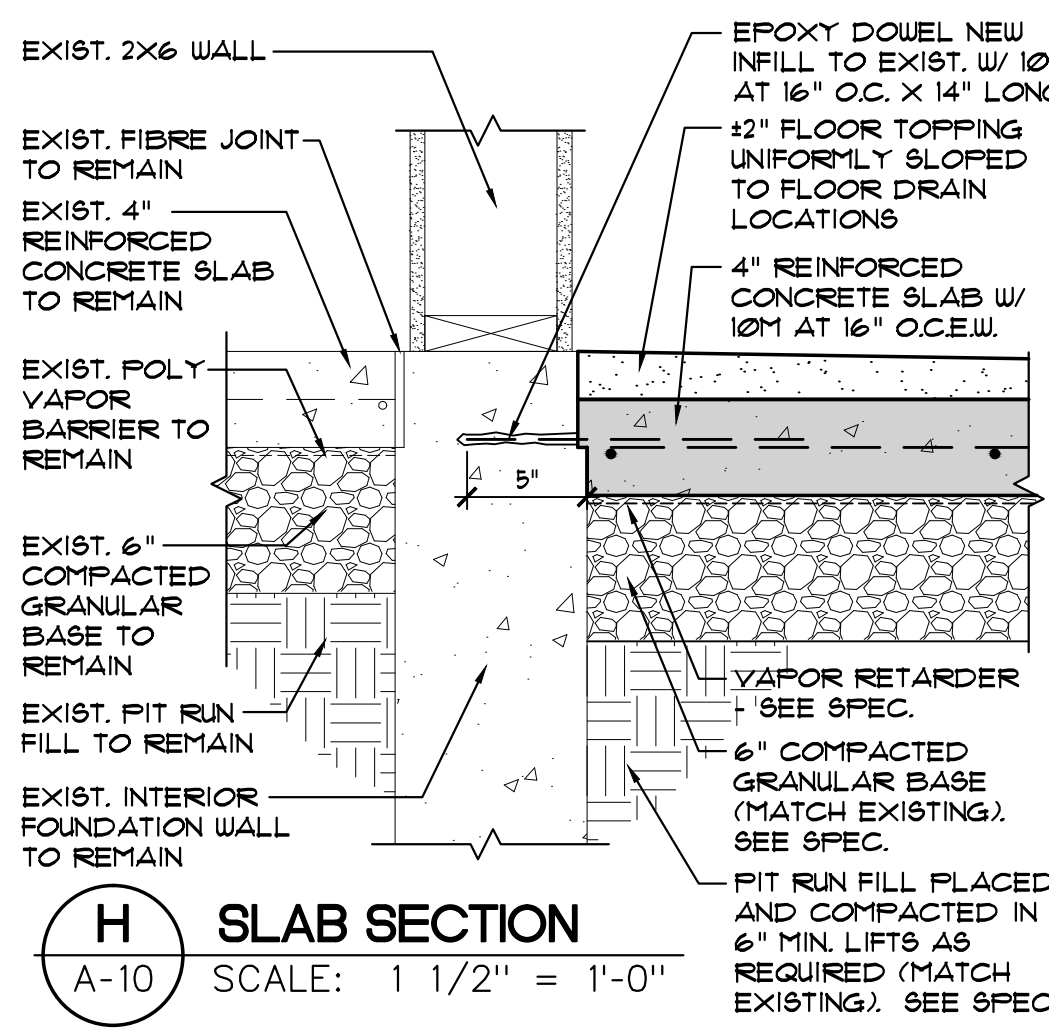
**F DOOR HEAD**  
A-10 SCALE: 1 1/2" = 1'-0"



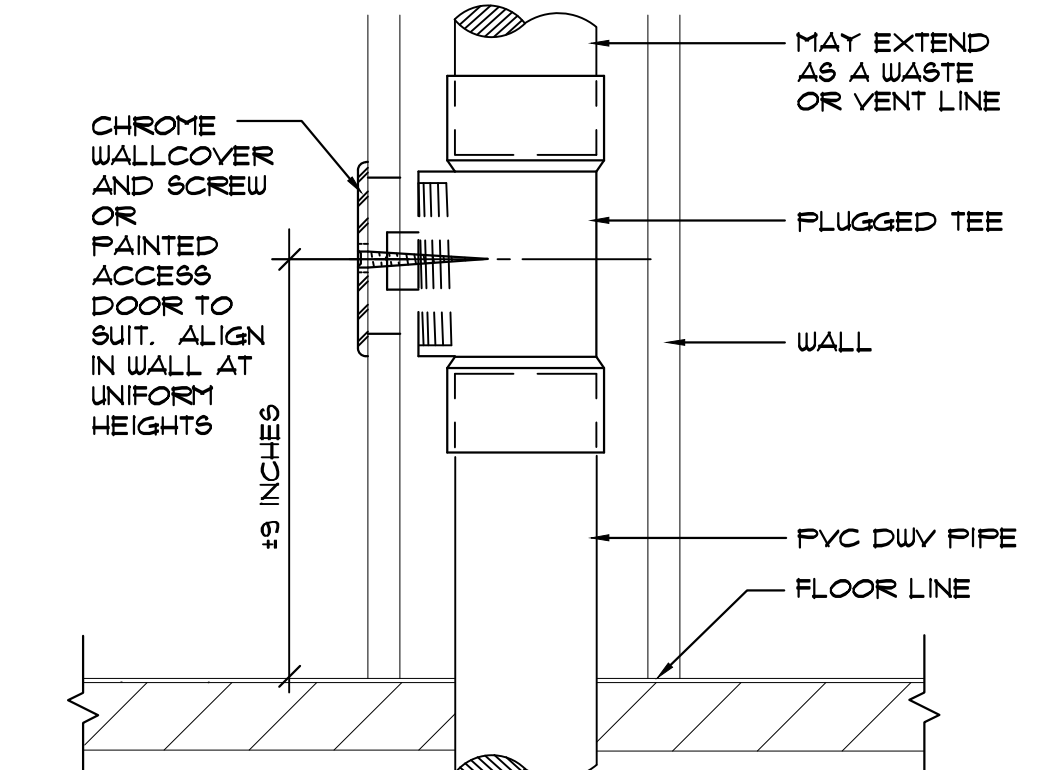
**F1 DOOR HEAD**  
A-10 SCALE: 1 1/2" = 1'-0"



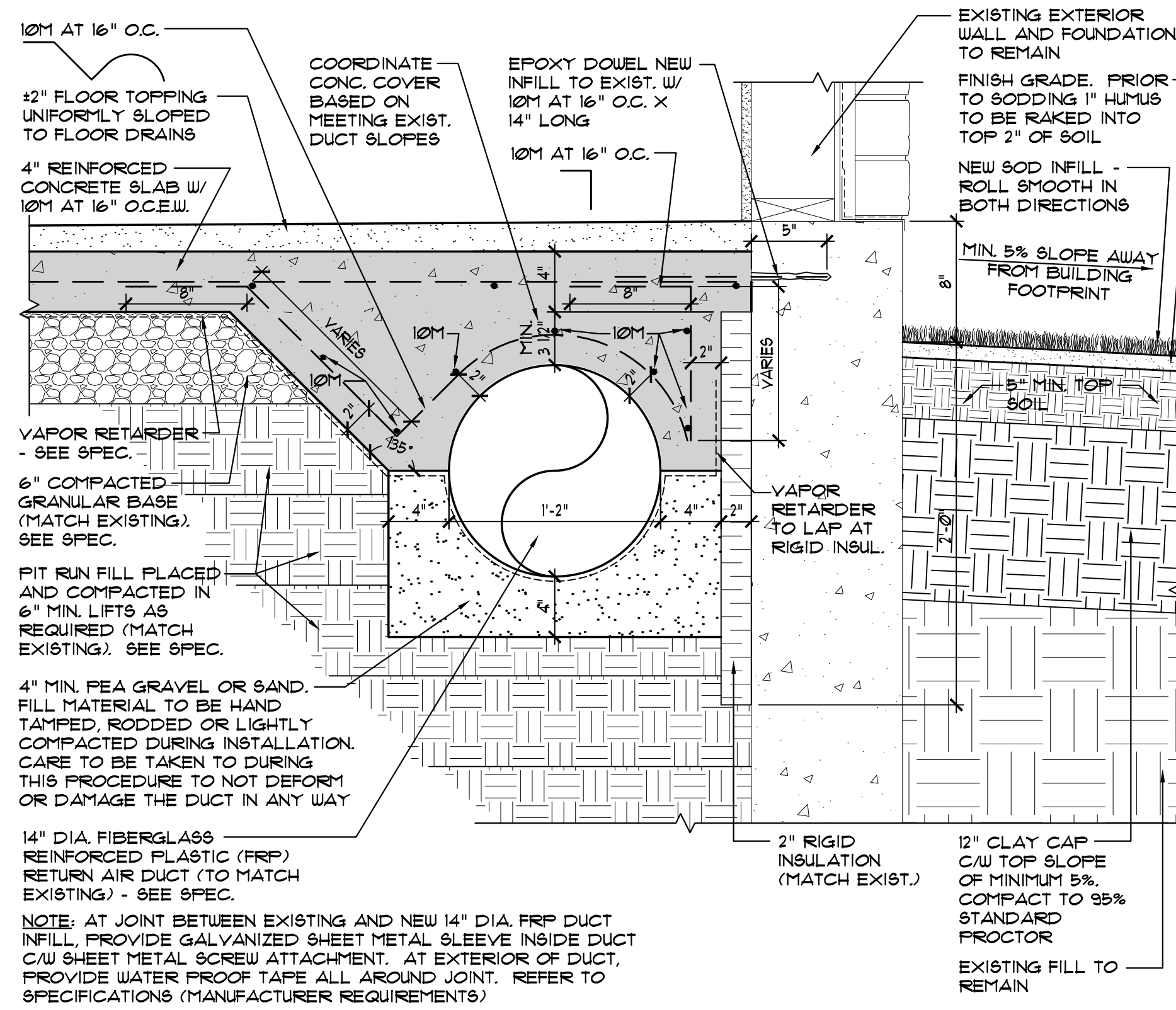
**G STAIR SECTION**  
A-10 SCALE: 1 1/2" = 1'-0"



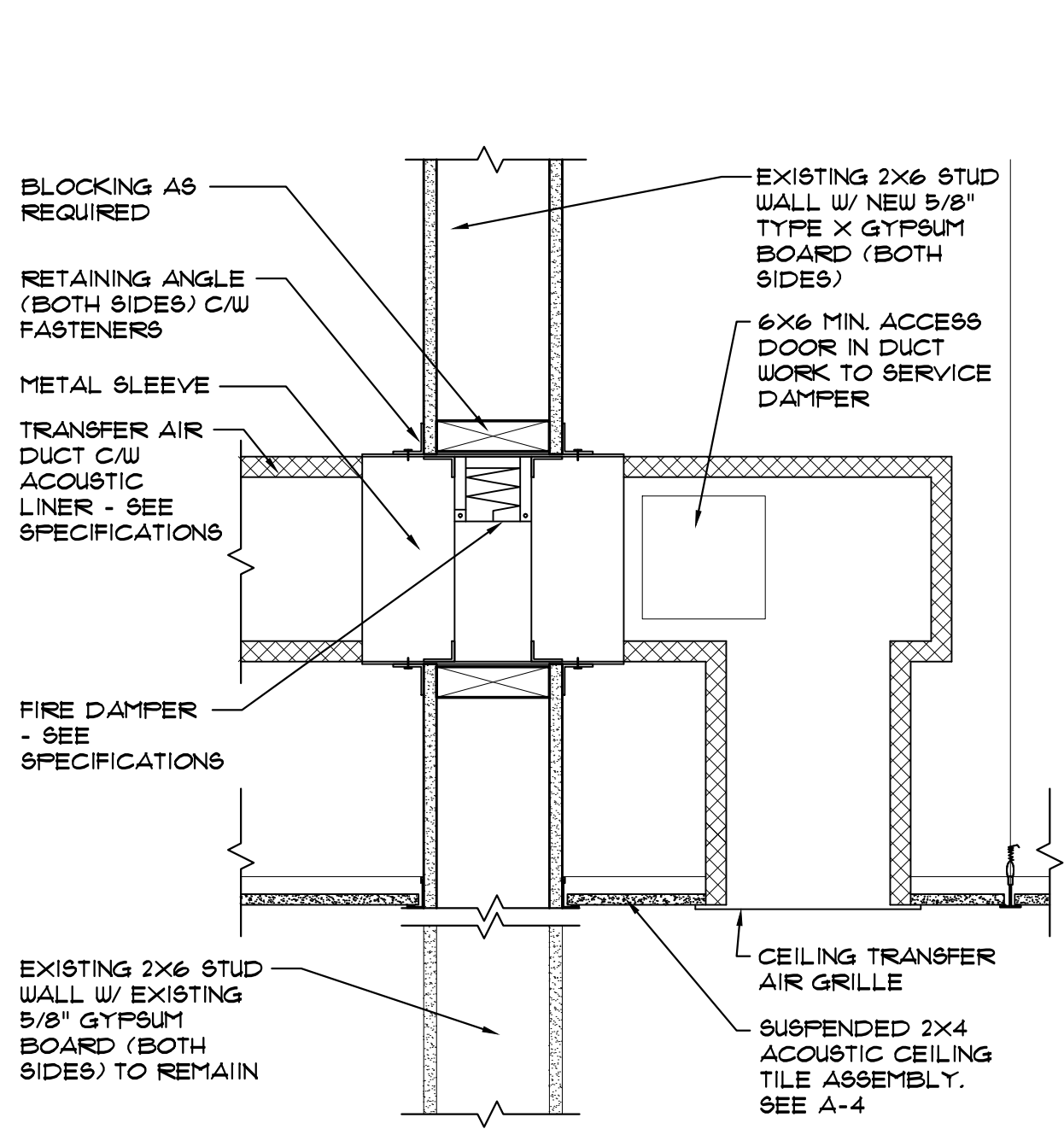
**H SLAB SECTION**  
A-10 SCALE: 1 1/2" = 1'-0"



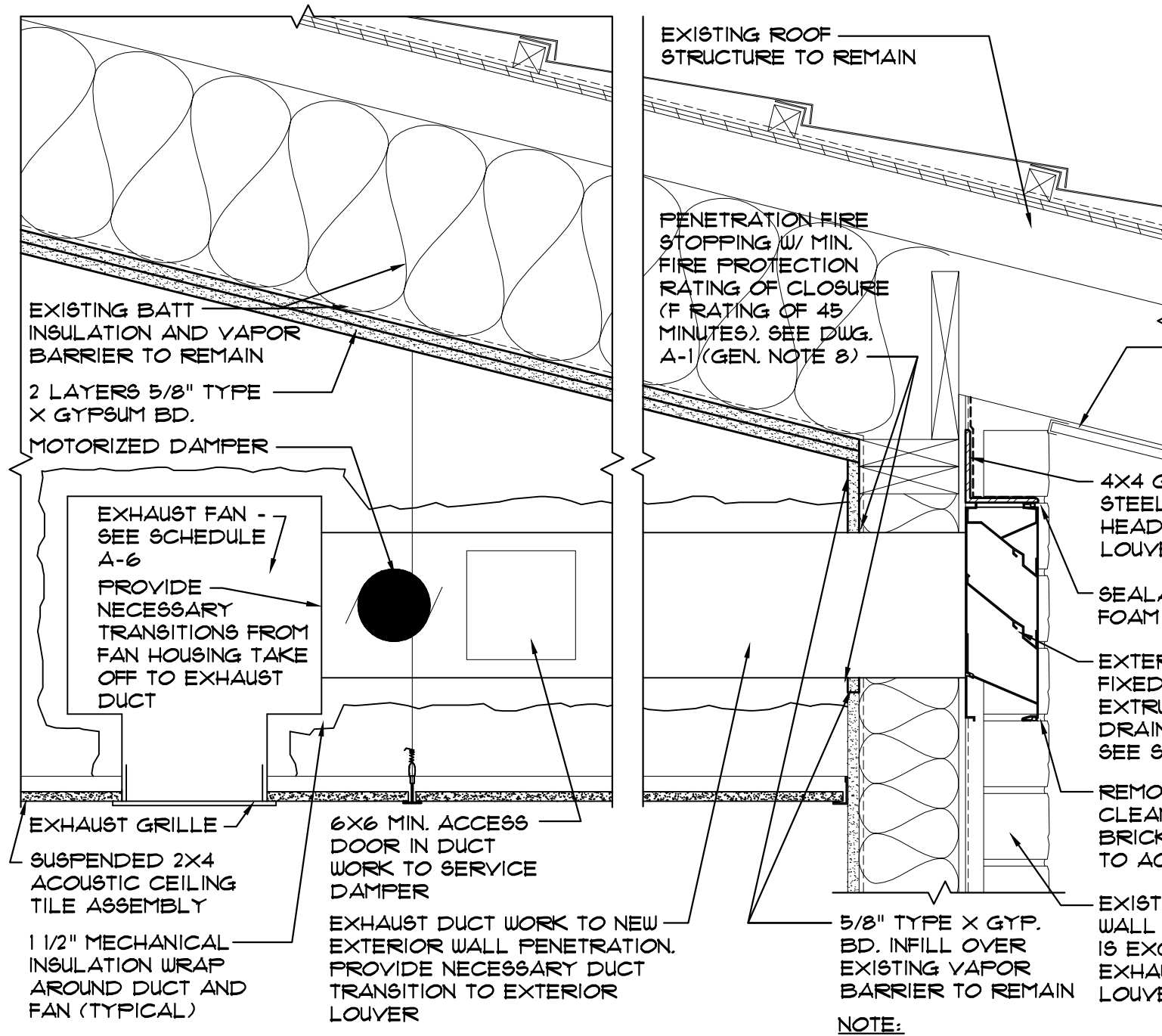
**J WALL CLEANOUT**  
A-10 SCALE: NTS



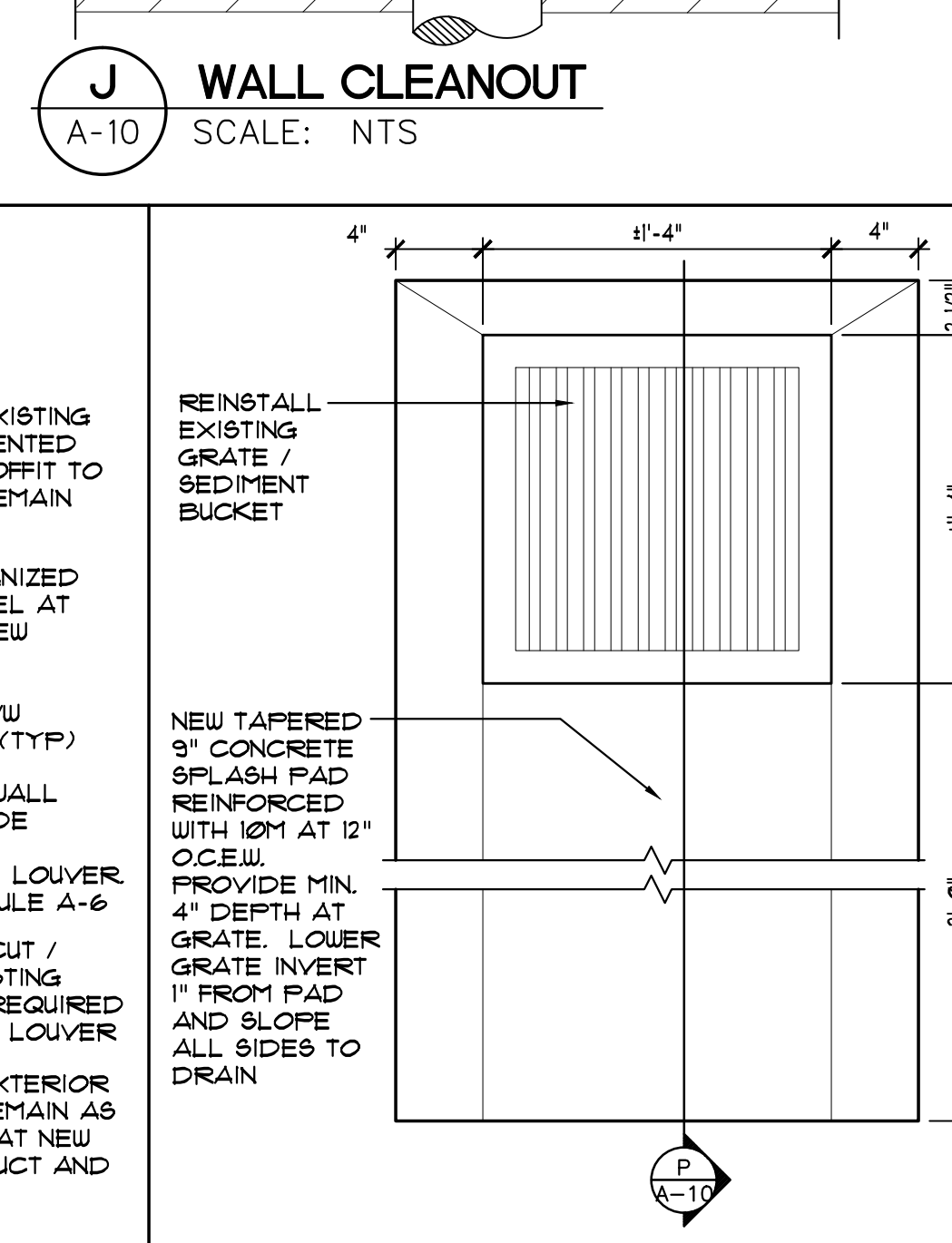
**K SLAB / EXTERIOR WALL / DUCT SECTION**  
A-10 SCALE: 1 1/2" = 1'-0"



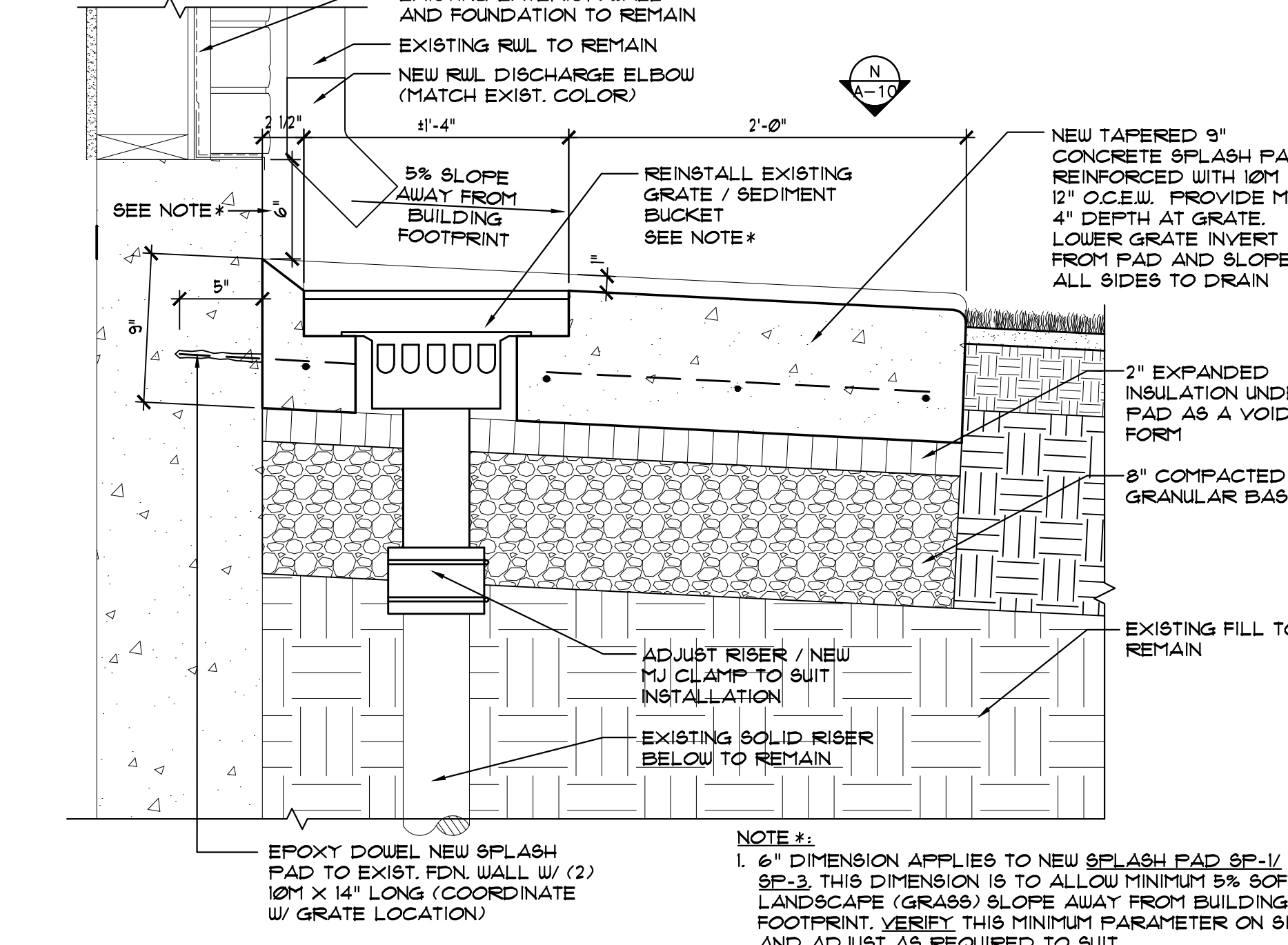
**L FIRE DAMPER / TRANSFER AIR DETAIL**  
A-10 SCALE: 1 1/2" = 1'-0"



**M EXHAUST FAN / LOUVER DETAIL**  
A-10 SCALE: 1 1/2" = 1'-0"



**N DRAIN / SPLASH PAD**  
A-10 SCALE: 1 1/2" = 1'-0"



**P EXTERIOR DRAIN / SPLASH PAD**  
A-10 SCALE: 1 1/2" = 1'-0"

NOTE #1:  
1. 6" DIMENSION APPLIES TO NEW SPLASH PAD SP-1/ SP-2. THIS DIMENSION IS TO ALLOW MINIMUM 5% SOFT LANDSCAPE (GRASS) SLOPE AWAY FROM BUILDING FOOTPRINT. VERIFY THIS MINIMUM PARAMETER ON SITE AND ADJUST AS REQUIRED TO SUIT.  
2. AT NEW SPLASH PAD SP-2, 6" DIMENSION MUST BE INCREASED TO ALLOW MINIMUM 5% SOFT LANDSCAPE (GRASS) SLOPE AWAY FROM BUILDING FOOTPRINT. VERIFY THIS MINIMUM PARAMETER ON SITE AND ADJUST DIMENSION AS REQUIRED TO SUIT.

MARK	DATE	REVISION

ARCHITECT

**ED ZUKOWSKI**  
*Architect*

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STAMP

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PROJECT FOR  
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**  
PROJECT NAME  
**CRANBROOK 1,2,&  
CRANBROOK BRITISH COLUMBIA STAKE**  
PROJECT ADDRESS  
**2210 2ND STREET NORTH  
CRANBROOK, B.C. VIC 5H4**

SHEET TITLE  
**SECTIONS AND DETAILS**

PROJECT DESIGNATION  
**510-5234-1802-0101**

PROJECT NUMBER <b>18101</b>	SHEET NO. <b>A-10</b>
CNA WORK ORDER <b>FBW24586</b>	
DATE <b>MAR 2019</b>	

