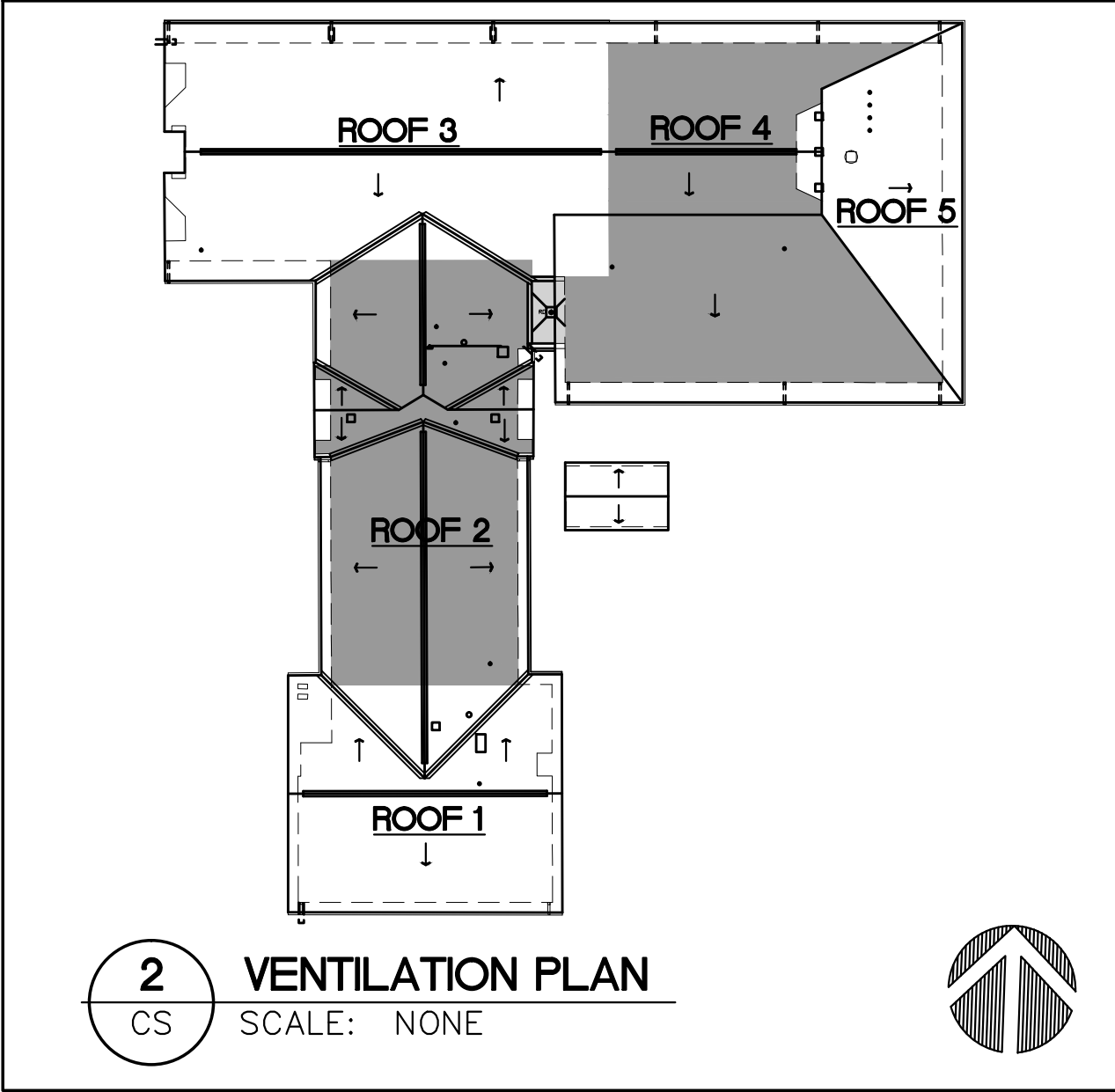


DRAWING LIST	
SHEET NO.	SHEET TITLE
ACS	COVER SHEET, SITE AND VENTILATION PLAN
A-1	DEMOLITION / NEW CONSTRUCTION ROOF PLAN
A-2	DETAILS
A-3	DETAILS

ROOF #1 VENTILATION CALCULATIONS:	
ROOF #1 CEILING AREA = ±2,060 SQ.FT. (±236,681 SQ.IN.)	
1/300 X CEILING AREA = ±989 SQ.IN. MIN. VENTILATION REQUIRED	
25% VENTING AT RIDGE = 248 SQ.IN. MIN.	
25% VENTING AT SOFFIT = 248 SQ.IN. MIN.	
RIDGE IS VENTED BY NEW RIDGE VENT. TOTAL AREA CALCULATED AT 192 X 2" DIA. HOLES (314 SQ.IN. EA.) = ±602 SQ.IN.	
EXISTING SOFFIT IS VENTED BY PERFORATION MEETING MIN. 3,375 SQ.IN. OF NET FREE AREA / SQ. FOOT. TOTAL AREA OF SOFFIT IS ±219 SQ.FT. = ±139 SQ.IN.	
TOTAL VENTILATION IS ±1341 SQ.IN. AND EXCEEDS REQUIREMENT.	
ROOF #2 VENTILATION CALCULATIONS:	
ROOF #2 CEILING AREA = ±3,168 SQ.FT. (±456,221 SQ.IN.)	
1/300 X CEILING AREA = ±1,052 SQ.IN. MIN. VENTILATION REQUIRED	
25% VENTING AT RIDGE = ±381 SQ.IN. MIN.	
25% VENTING AT SOFFIT = ±381 SQ.IN. MIN.	
RIDGE IS VENTED BY NEW RIDGE VENT. TOTAL AREA CALCULATED AT 328 X 2" DIA. HOLES (314 SQ.IN. EA.) = 1,030 SQ.IN.	
RIDGE IS VENTED BY (2) NEW ROOF VENTS. TOTAL AREA CALCULATED AT 2 X 60 SQ.IN. = 120 SQ.IN.	
SOFFIT IS VENTED BY PERFORATION MEETING MIN. 3,375 SQ.IN. OF NET FREE AREA / SQ. FOOT. TOTAL AREA OF SOFFIT ±241 SQ.FT. = ±153 SQ.IN.	
TOTAL VENTILATION IS ±1,983 SQ.IN. AND EXCEEDS REQUIREMENT.	
ROOF #3 VENTILATION CALCULATIONS:	
ROOF #3 CEILING AREA = ±3,713 SQ.FT. (±534,663 SQ.IN.)	
1/300 X CEILING AREA = ±1,237 SQ.IN. MIN. VENTILATION REQUIRED	
25% VENTING AT RIDGE = ±446 SQ.IN. MIN.	
25% VENTING AT SOFFIT = ±446 SQ.IN. MIN.	
RIDGE IS VENTED BY NEW RIDGE VENT. TOTAL AREA CALCULATED AT 312 X 2" DIA. HOLES (314 SQ.IN. EA.) = 979 SQ.IN.	
SOFFIT IS VENTED BY PERFORATION MEETING MIN. 3,375 SQ.IN. OF NET FREE AREA / SQ. FOOT. TOTAL AREA OF SOFFIT ±411 SQ.FT. = ±263 SQ.IN.	
TOTAL VENTILATION IS ±2,560 SQ.IN. AND EXCEEDS REQUIREMENT.	



ROOF #4 VENTILATION CALCULATIONS:	
ROOF #4 CEILING AREA = ±3,406 SQ.FT. (±490,470 SQ.IN.)	
1/300 X CEILING AREA = ±1,135 SQ.IN. MIN. VENTILATION REQUIRED	
25% VENTING AT RIDGE = ±409 SQ.IN. MIN.	
25% VENTING AT SOFFIT = ±409 SQ.IN. MIN.	
RIDGE IS VENTED BY NEW RIDGE VENT. TOTAL AREA CALCULATED AT 35 LINEAL FEET X 33 SQ.IN. PER LINEAL FT. = ±1,155 SQ.IN.	
SOFFIT IS VENTED BY PERFORATION MEETING MIN. 3,375 SQ.IN. OF NET FREE AREA / SQ. FOOT. TOTAL AREA OF SOFFIT ±512 SQ.FT. = ±330 SQ.IN.	
TOTAL VENTILATION IS ±3,085 SQ.IN. AND EXCEEDS REQUIREMENT.	
ROOF #5 VENTILATION CALCULATIONS:	
ROOF #5 CEILING AREA = ±1,181 SQ.FT. (±170,038 SQ.IN.)	
1/300 X CEILING AREA = ±397 SQ.IN. MIN. VENTILATION REQUIRED	
25% VENTING AT RIDGE = ±142 SQ.IN. MIN.	
25% VENTING AT SOFFIT = ±142 SQ.IN. MIN.	
RIDGE IS VENTED BY 3 EXISTING ROOF VENTILATORS. TOTAL AREA CALCULATED AT 3 X 12" X 12" X 50% NET FREE AREA. 3 X 12 SQ.IN. = ±36 SQ.IN.	
SOFFIT IS VENTED BY PERFORATION MEETING MIN. 3,375 SQ.IN. OF NET FREE AREA / SQ. FOOT. TOTAL AREA OF SOFFIT ±294 SQ.FT. = ±192 SQ.IN.	
TOTAL VENTILATION IS ±1,200 SQ.IN. AND EXCEEDS REQUIREMENT.	



ROCKY MOUNTAIN HOUSE

RED DEER ALBERTA STAKE

6211 - 60 STREET
ROCKY MOUNTAIN HOUSE, ALBERTA

ROOF REPLACEMENT

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

BID SET

WORK ORDER: FDP25223
GDG FILE NUMBER: 19113
PROJECT DESIGNATION: 515-5037-1904-0101



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AUGUST 2019

CONTRACTOR AND SUB-TRADES TO REVIEW ENTIRE SET OF DRAWINGS AND SPECIFICATIONS FOR TOTAL SCOPE OF WORK.

1. THE TERM "PROVIDE" SHALL MEAN "SUPPLY AND INSTALL".

2. CONTRACTOR TO PROTECT ALL EXISTING BUILDING FINISHES TO REMAIN. RESTORE ANY DAMAGED FINISHES TO EXISTING CONDITION. PREPARE FOR NEW FINISHES WHERE SPECIFIED.

3. CONTRACTOR TO PROTECT ALL EXISTING SOFT AND HARD LANDSCAPING TO REMAIN AND RESTORE ANY DAMAGED AREAS FROM SITE WORK OR STAGING BEYOND SCOPE OF WORK SHOWN.

4. BIDDERS SHALL CONFIRM ALL CRITICAL DIMENSIONS AND ROOF SLOPES ON SITE. INFORMATION SHOWN IS APPROXIMATE.

5. CONTRACTOR RESPONSIBLE FOR SUPPLY AND INSTALLATION OF SCAFFOLD & FALL PROTECTION AS NEEDED FOR DEMO. & NEW WORK.

6. REMOVE ENTIRE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND UNDERLAYMENT TO EXPOSE EXISTING ROOF SHEATHING. IF EXISTING SECONDARY UNDERLAYMENT CANNOT BE REMOVED DUE TO DAMAGE BEING INCURRED UPON THE EXISTING ROOF SHEATHING BY THE REMOVAL, EXISTING SECONDARY UNDERLAYMENT CAN REMAIN. NEW SECONDARY UNDERLAYMENT IS STILL REQUIRED OVER THE EXISTING SECONDARY UNDERLAYMENT WHEN IT CANNOT BE SUCCESSFULLY PULLED UP. REFER TO NOTES / DETAILS 6 FOR ADDITIONAL DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.

7. DISPOSE OF EXISTING ROOFING MATERIALS (INCLUDING LEAD FLASHING) OFF SITE AS REQUIRED WITH APPROPRIATE LEGAL DUMP SITE. STAGE BIN LOCATIONS AND TAPPS AROUND SITE TO PROVIDE NEAR REMOVAL. PROVIDE MAGNETIC SWEEP AND CLEAN UP OF AREA AFTER SUBSTANTIAL COMPLETION.

8. EXIST. ROOF PROFILE (RIDGES / VALLEYS) TO REMAIN W/ NEW ROOFING.

9. PROVIDE NEW ASPHALT SHINGLE ROOFING AND UNDERLAYMENTS OVER ENTIRE ROOF STRUCTURE AS DETAILED AND SPECIFIED.

10. REMOVE ALL EXISTING ROOF RELATED FLASHING AND STEP FLASHING AS NOTED AND CLEAN AND PREPARE AREAS FOR NEW FLASHING.

11. REMOVE EXISTING DRIP / RAKE FLASHING AT ROOF PERIMETER AS NOTED. CLEAN & PREPARE AREAS FOR NEW DRIP / RAKE FLASHING.

12. REMOVE EXISTING PRE-FINISHED METAL FASCIA, SOFFIT, EAVESTROUGH AND DOWNSPOUTS WHERE SO NOTED. CLEAN & PREPARE AREAS FOR NEW.


13. PROVIDE NEW ASPHALT SHINGLE STARTER STRIP THROUGHOUT EDGE OF ROOF. ASPHALT SHINGLES USED FOR STARTER STRIP SHALL BE THE SAME WEIGHT AND QUALITY AS THOSE USED FOR THE PRIMARY ROOF SHINGLE COVERING.

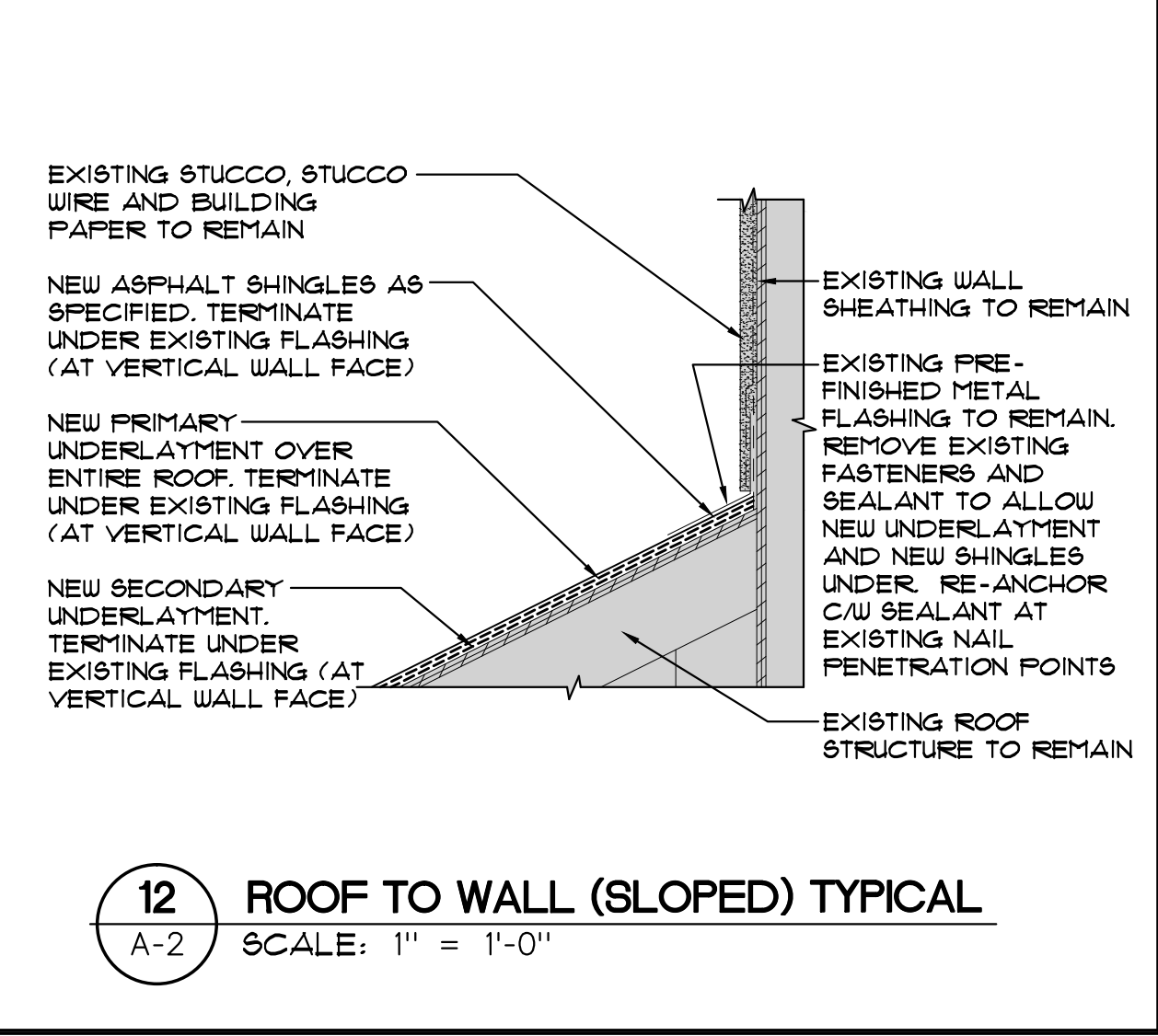
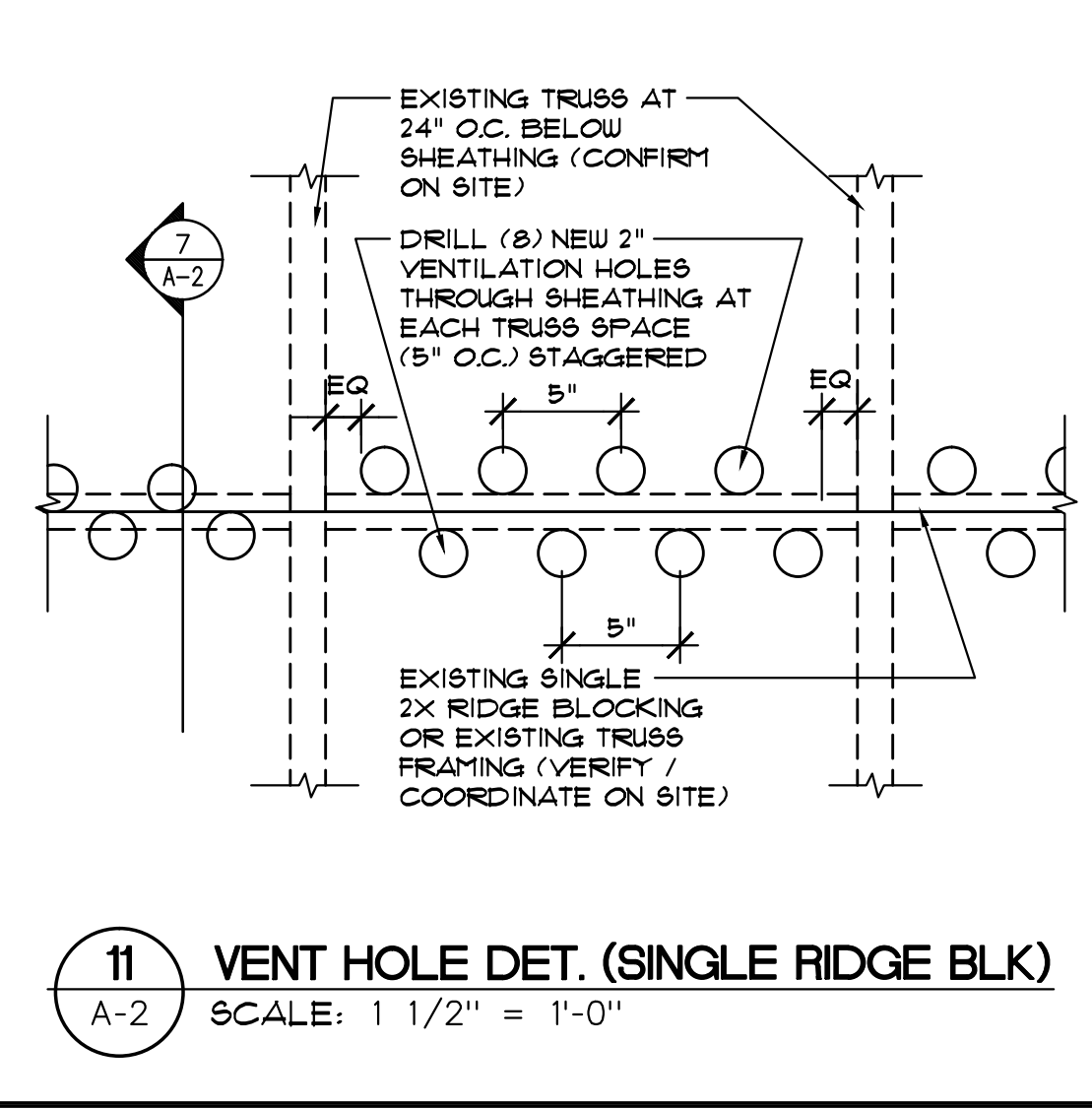
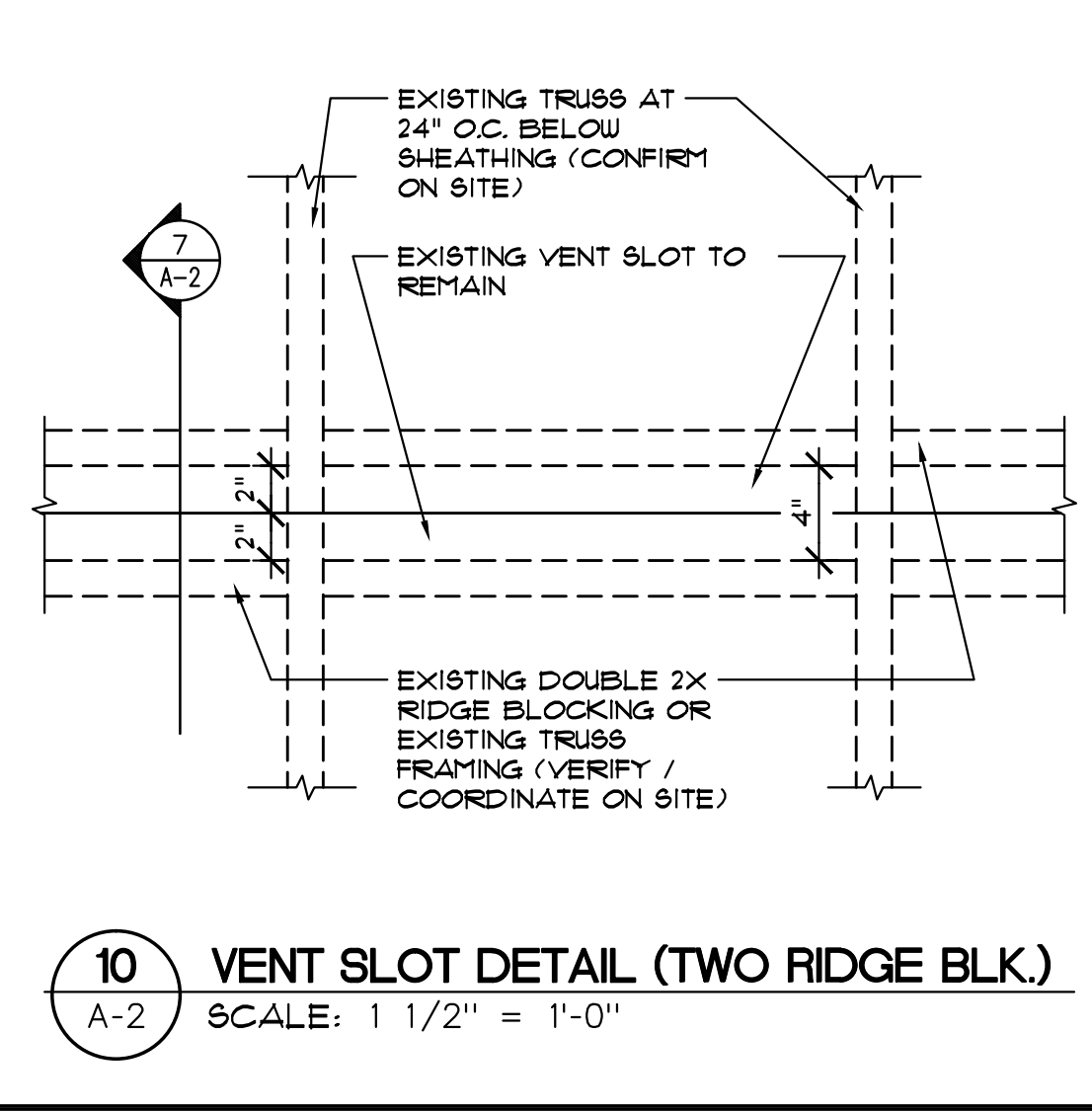
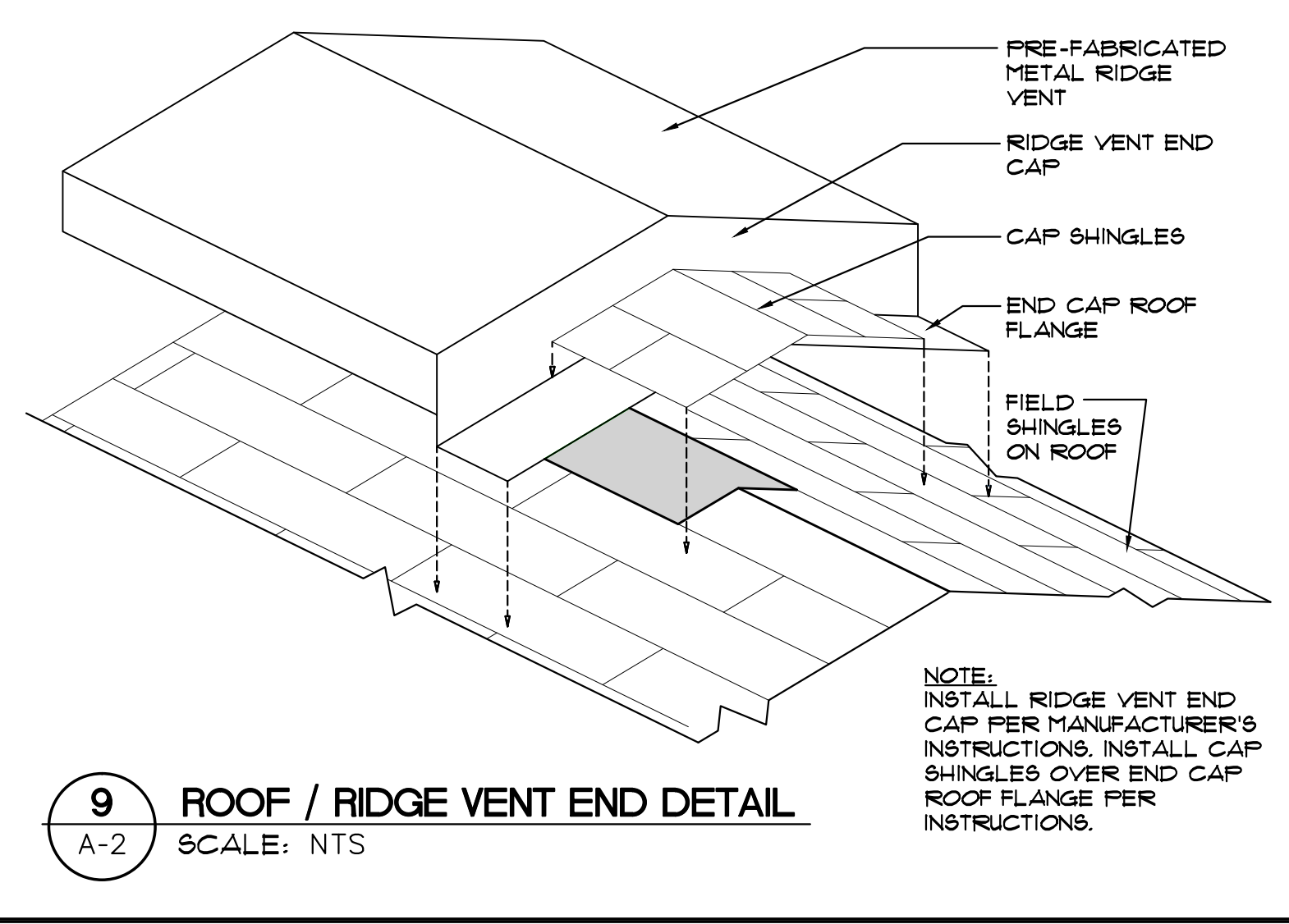
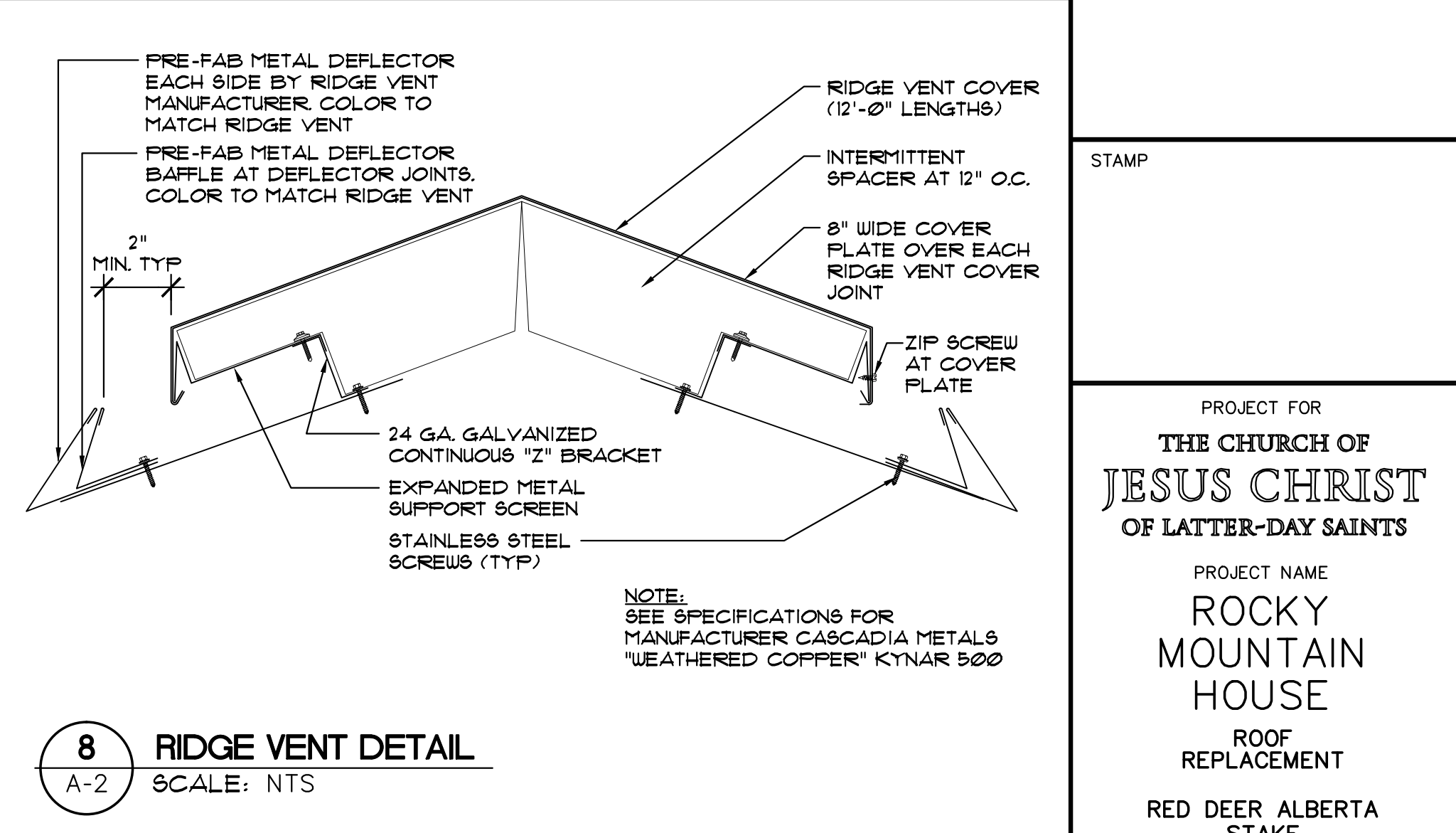
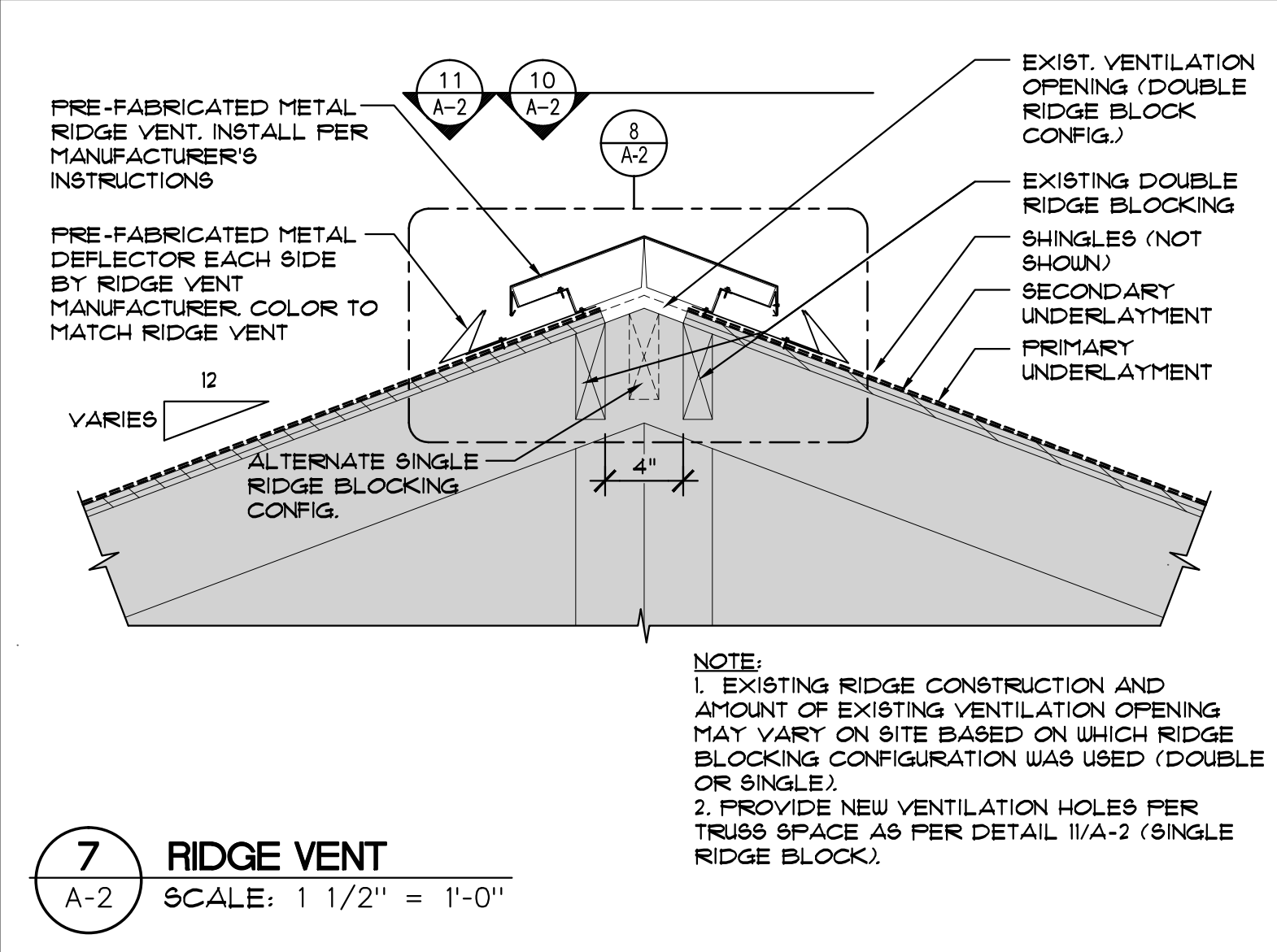
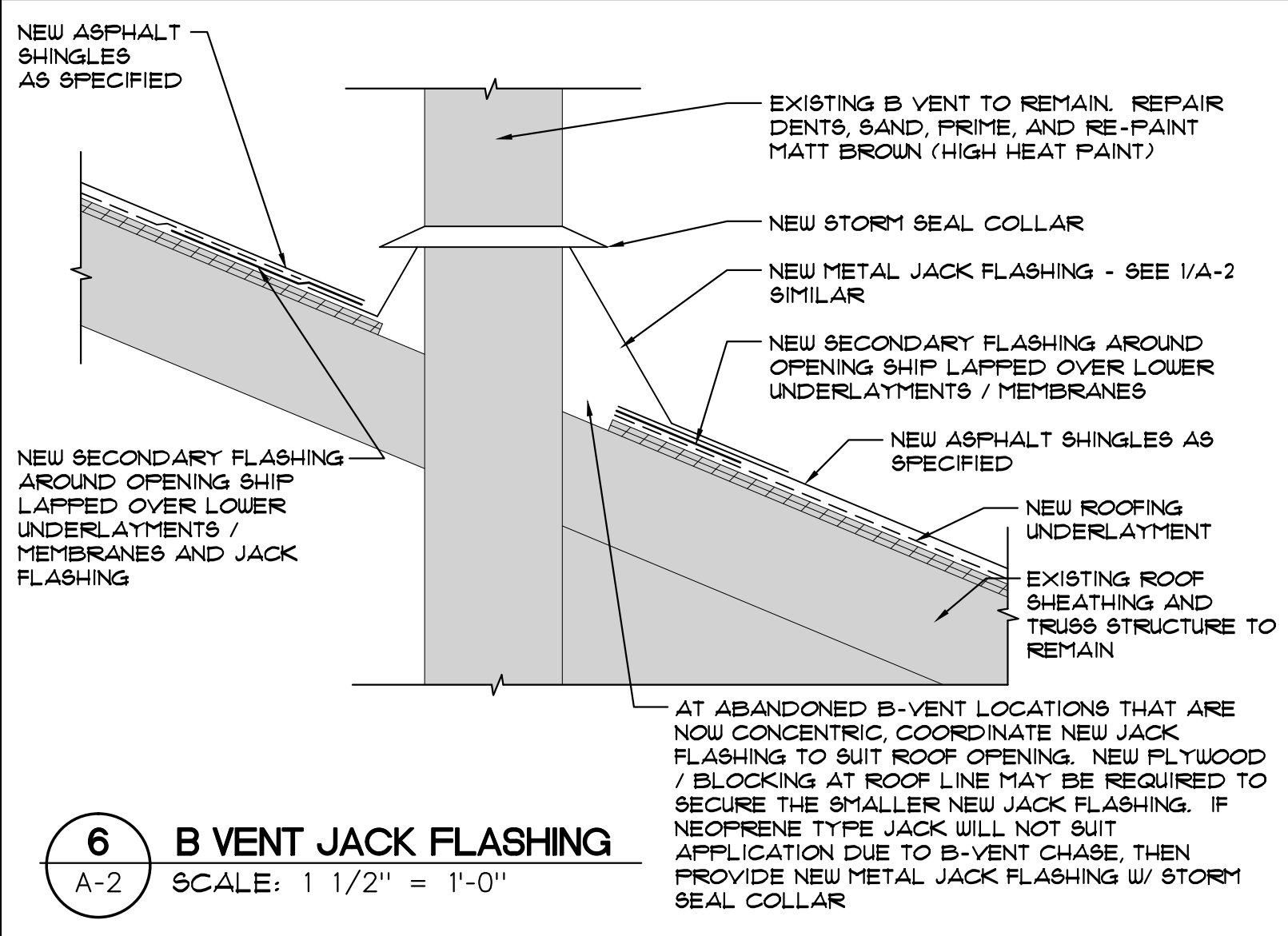
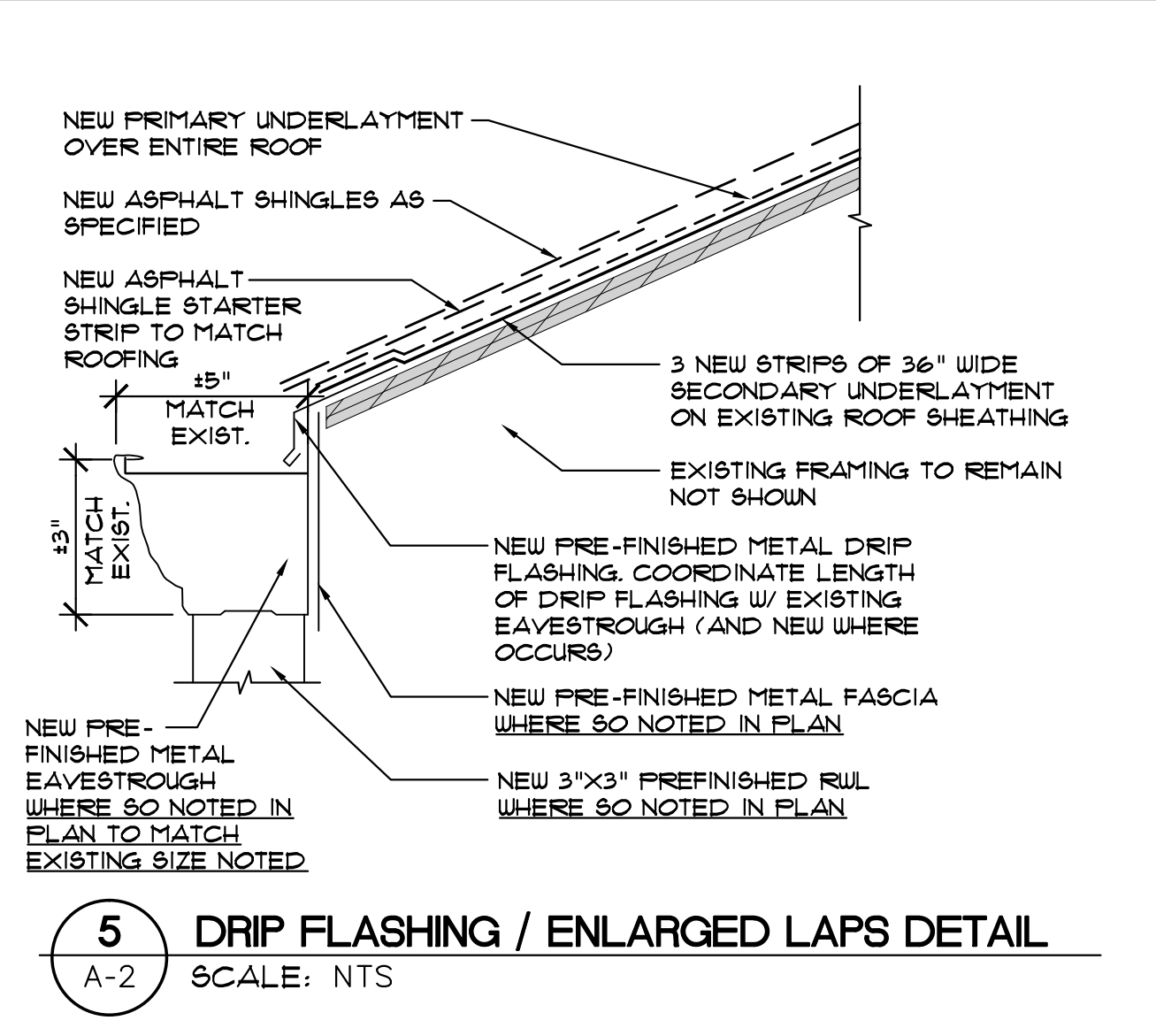
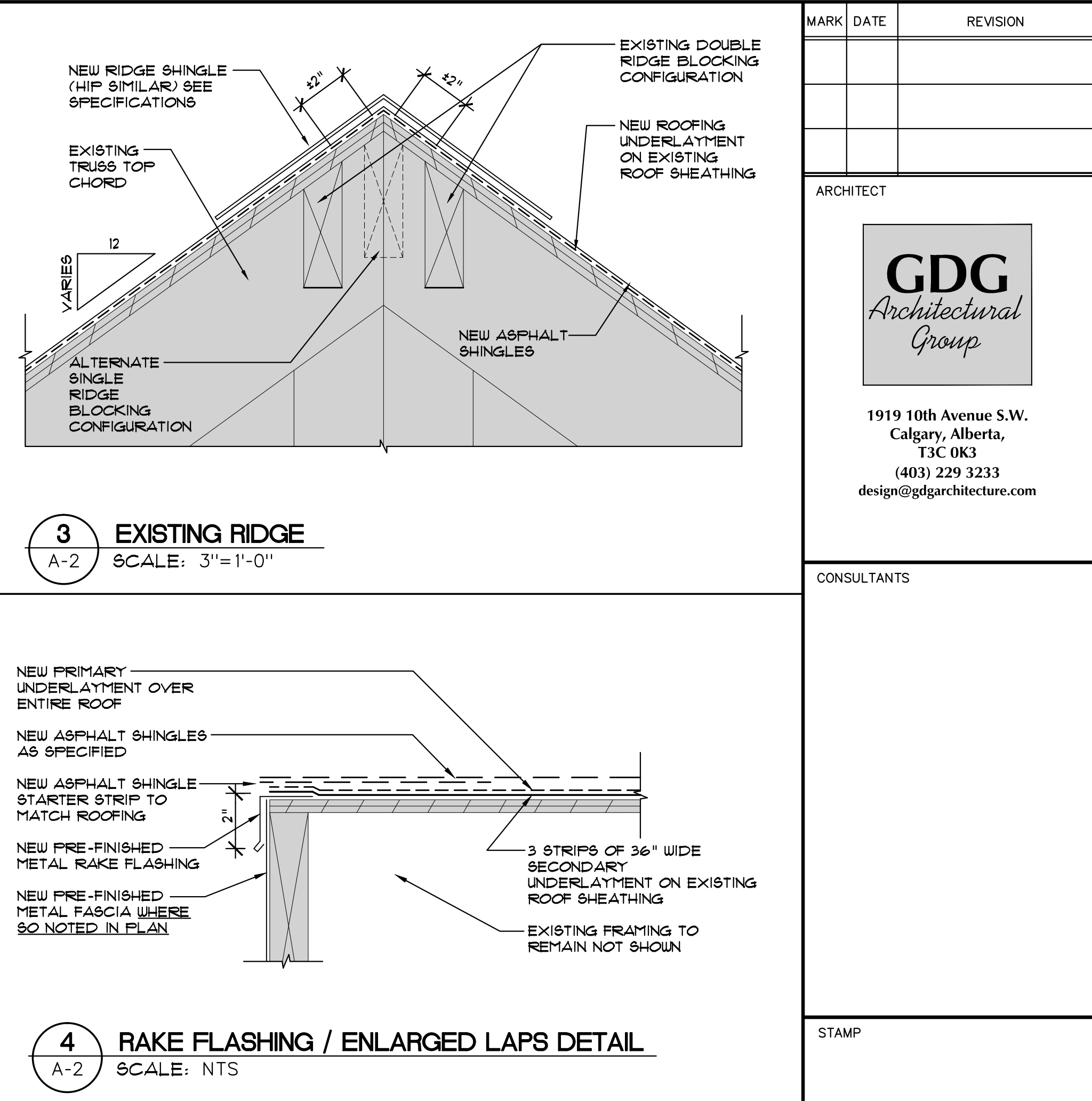
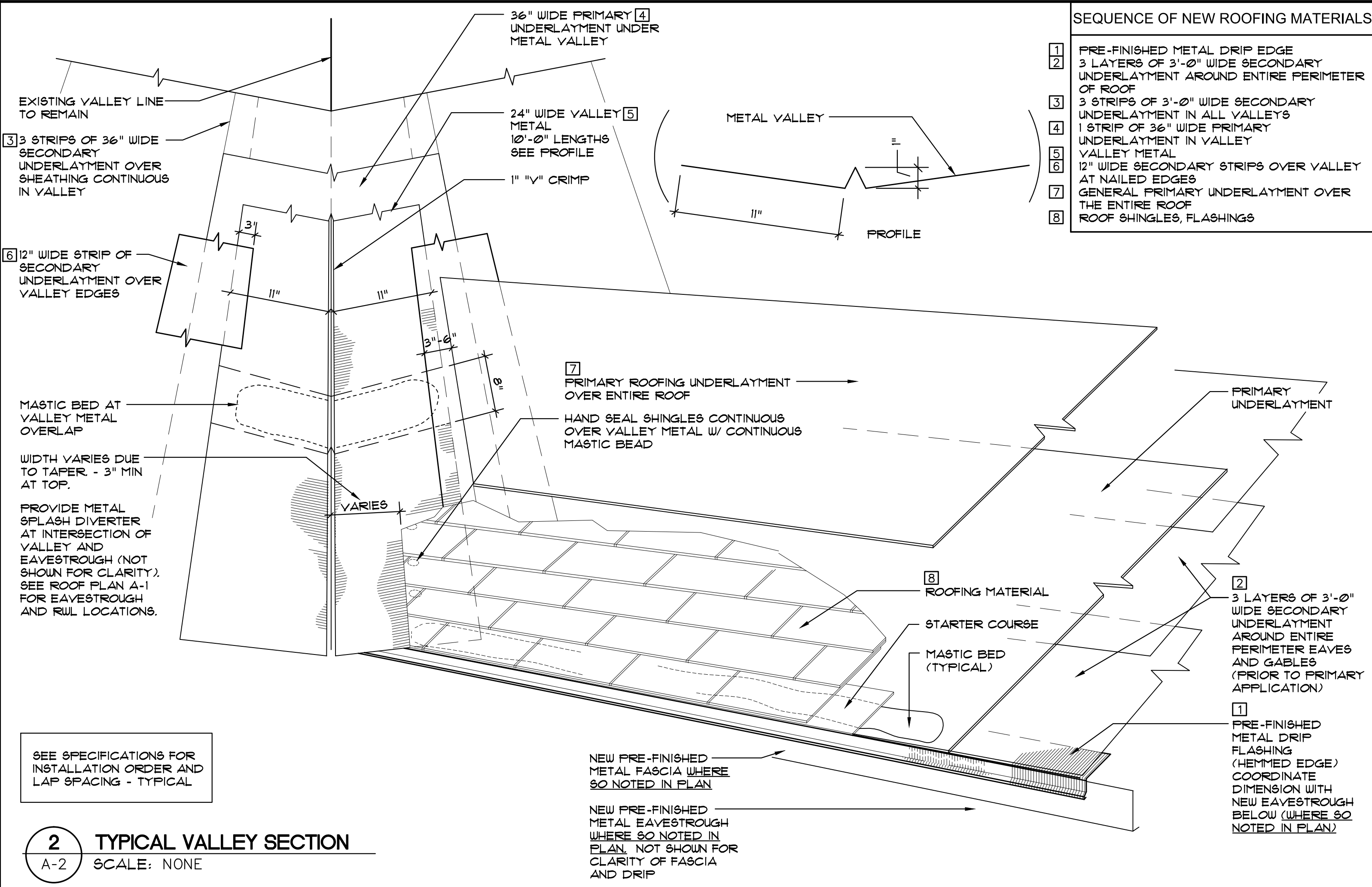
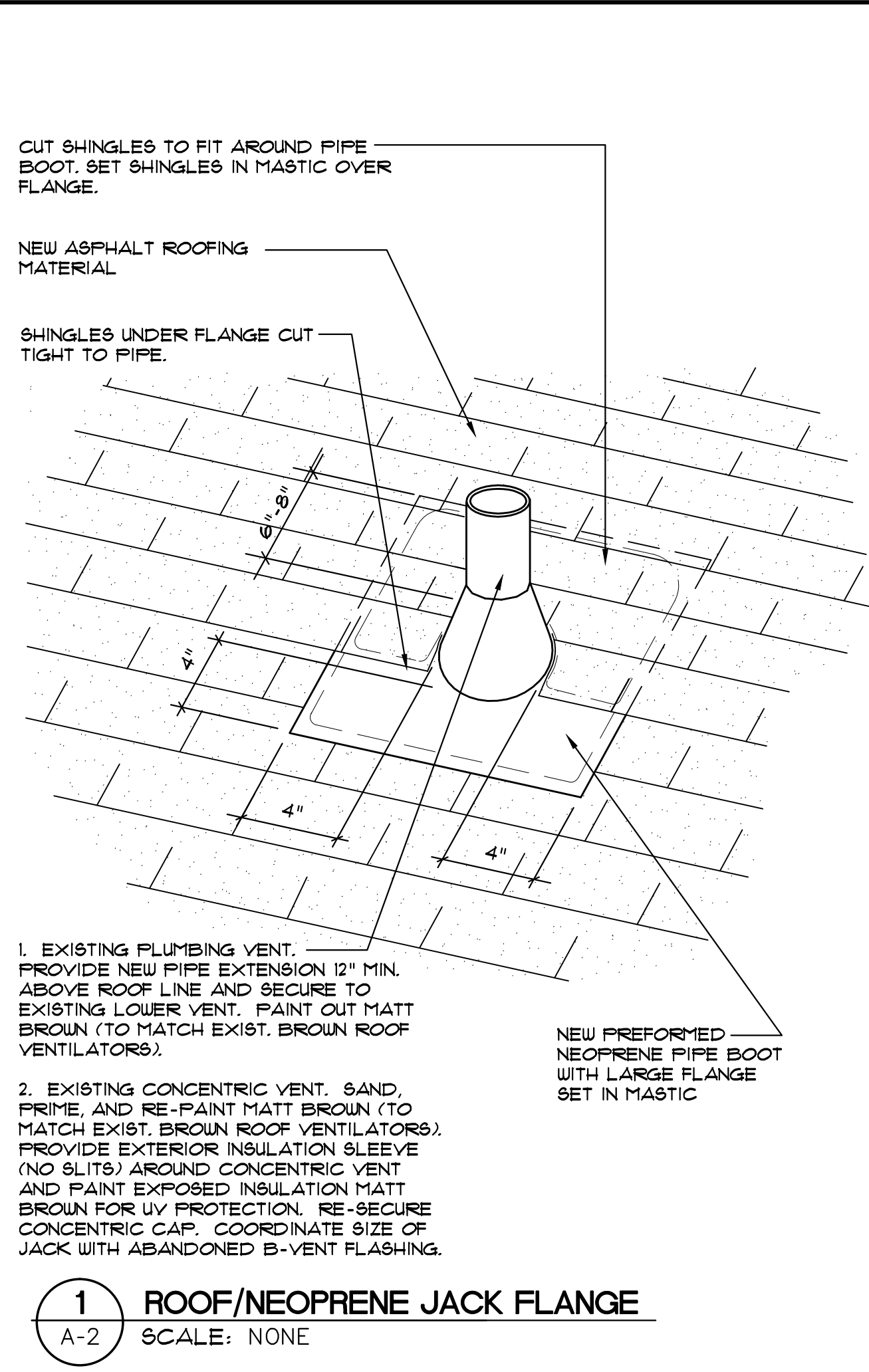
1. PROVIDE NEW SECONDARY UNDERLAYMENT "ICE AND WATER SHIELD MEMBRANE" TO BE APPLIED (3) ROWS DEEP ALONG ALL PERIMETER EDGES (EAVES AND GABLES) TO PROVIDE MINIMUM 6" OVERLAP EXISTING EXTERIOR WALL FOR ICE DAM PROTECTION. IF EXISTING SECONDARY UNDERLAYMENT CAN BE SUCCESSFULLY REMOVED WITHOUT DAMAGING THE EXISTING ROOF SHEATHING, ENSURE NEW SECONDARY UNDERLAYMENT LAPS OVER AND CONCEALS THE EXISTING SECONDARY UNDERLAYMENT THAT REMAINS IN PLACE.
16. REFER TO DETAIL 2/A-2 AND SPECIFICATIONS FOR SEQUENCING / LAPPING REQUIREMENTS.
17. ALL EXISTING MECHANICAL PENETRATIONS ABOVE THE ROOF TO BE SANDED, PRIMED AND PAINTED W/ HIGH HEAT PAINT. COLOR TO BE MATT BROWN TO MATCH EXISTING BROWN ROOF VENTILATORS.
18. PROVIDE DAILY CLEAN AT END OF EACH DAY'S WORK. AFTER WORK IS COMPLETE, CONTRACTOR TO PERFORM A FINAL CLEAN OF BUILDING EXTERIOR / LANDSCAPE AND ANY AREA WHERE WORK WAS PERFORMED TO FLUSH THIS CONTRACT.
19. CONTRACTOR TO REVIEW SPECIFICATIONS FOR WARRANTY AND SYSTEM REQUIREMENTS.
20. AT ROOF TO WALL TRANSITIONS, KICK-OUT FLASHING TO BE MINIMUM 6' x 6' x 12" WITH A 100° DEGREE TO 110° DEGREE BEND / KICK-OUT TO DIVERT WATER AWAY FROM THE WALL. COORDINATE WITH STEP FLASHING.
21. PROVIDE NEW SECONDARY UNDERLAYMENT "ICE AND WATER SHIELD MEMBRANE" 12" MINIMUM UP VERTICAL FACE OF ALL ROOF TO WALL INTERFACES. COORDINATE WITH EXISTING 2X 4 SHIMMER FASIMA BRK AND KICK FLASHING INSTALL W/ NEW MEMBRANES / SHINGLES TO ENSURE PROPER WATER SHED AWAY FROM BUILDING ENVELOPE.
22. CLEAN ALL EXISTING EAVES TROUGH THAT ARE TO REMAIN OF ANY ROOF SHINGLE GRANULES/DEBRIS.
23. PROVIDE ROOF TO WALL STEPPED FLASHING AND KICK-OUT FLASHING WHERE SLOPED ROOF INTERSECTS WITH A SIDE WALL. EXISTING WALL STUCCO ASSEMBLY TO REMAIN AND BE PROTECTED EXCEPT WHERE NOTED OTHERWISE. COORDINATE WITH SHIMMER FASIMA BRK AND KICK FLASHING INSTALL W/ NEW MEMBRANES / SHINGLES TO ENSURE PROPER WATER SHED AWAY FROM BUILDING ENVELOPE.

- (1) REMOVE EXISTING ASPHALT SHINGLE ROOFING SYSTEM, INCLUDING VALLEY METAL, LEAD FLASHING, ALL ROOF RELATED FLASHING, AND UNDERLAYMENTS OVER ENTIRE EXISTING ROOF TO EXPOSE EXISTING SHEATHING. SEE GENERAL NOTES #1 AND #5.
- (2) PROVIDE NEW ASPHALT SHINGLES AND UNDERLAYMENTS (AS DETAILED AND SPECIFIED) OVER EXISTING ROOF. PRIOR TO INSTALLING NEW UNDERLAYMENTS, INSPECT EXISTING ROOF AND REMOVE ALL DETERIORATED ROOF SHEATHING AT VALLEYS, AROUND EAVE PERIMETER, AND AT VERTICAL WALL INTERSECTIONS - ASSURE SUEPLY AND INSTALL OF 10 SHEETS (4' X 8') OF 5/8" PLYWOOD SHEATHING IN BID PRICE WILL NEED TO BE REMOVED AND REPLACED. VERIFY ACTUAL SHEATHING THICKNESS ON SITE AND MATCH. NAIL NEW SHEATHING @ 3" NAILS AT 6" O.C. ALONG EDGES AND 12" O.C. IN FIELD. SEE SPECIFICATIONS FOR ROOF SYSTEM.
- (3) EXISTING PRE-FINISHED EAVESTROUGH TO REMAIN. PROTECT FROM DAMAGE.
- (4) REMOVE EXISTING PRE-FINISHED EAVESTROUGH. PROVIDE NEW AS DETAILED AND SPECIFIED.
- (5) EXISTING PLUMBING VENT LOCATION TO REMAIN. REMOVE JACK FLASHING AND PROVIDE NEW JACK FLASHING AND EXTENSION TO VENT. SEE DETAIL 1/A-2.
- (6) EXISTING MECHANICAL CONCENTRIC VENT(S) LOCATION TO REMAIN. REMOVE JACK FLASHING AND PROVIDE NEW JACK FLASHING. SEE DETAIL 1/A-2 SIMILAR. COORDINATE NEW JACK FLASHING AT LOCATIONS OF OLD B-VENT FLASHING REMOVAL AS NEW PLYWOOD / BLOCKING AT ROOF LINE MAY BE REQUIRED TO SECURE THE SMALLER NEW JACK FLASHING.
- (7) NEW VALLEY FLASHING - SEE DETAIL 2/A-2.
- (8) PROVIDE NEW PRE-FINISHED METAL SPLASH DIVERTER AT VALLEY INTERSECTIONS INTO NEW EAVESTROUGH.
- (9) EXISTING ROOF EXHAUST FAN AND SKIRT BUILD-OUT TO REMAIN. PROVIDE NEW UNDERLAYMENT (SHIPSLAP STYLE) TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE.
- (10) EXISTING MECHANICAL FLUE (TYPE B VENT) TO REMAIN. PROVIDE NEW JACK FLASHING W/ STORM SEAL COLLAR AND PROVIDE NEW UNDERLAYMENT (SHIPSLAP STYLE) TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE. REMOVE DENTS, SAND AND PAINT MATCH EXISTING FINISH OF BROWN ROOF VENTILATORS. SEE DETAIL 6/A-2.
- (11) EXISTING ROOF PENHOUSE TO REMAIN. REMOVE EXISTING DRIF EDGE AND STUCCO SKIRT BUILD-OUT. REPLACE W/ PRE-FINISHED MATT BROWN DRIF EDGE AND MATT BROWN METAL SKIRT TO MATCH EXISTING FINISH OF BROWN ROOF VENTILATORS. PROVIDE NEW UNDERLAYMENT (SHIPSLAP STYLE) TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE.
- (12) REMOVE EXISTING CONTINUOUS RIDGE VENT. PROVIDE NEW CONTINUOUS RIDGE VENT AS PER DETAIL 1/A-2. SEE SPECIFICATIONS.
- (13) NEW BROWN ATTIC VENT (SQUARE ROOF LOUVER) TO REPLACE EXISTING SQUARE ROOF LOUVER. SEE SPECIFICATIONS.
- (14) NEW BROWN ATTIC VENT (SQUARE ROOF LOUVER) IN NEW LOCATION. CUT HOLE IN SHEATHING TO SUIT. SEE SPEC'S.
- (15) REMOVE EXISTING HEAT TRACE ASSEMBLY. SAVE FOR REINSTALL AT POINT IN TIME LOCATION WHERE NEW ROOF ASSEMBLY IS IN PLACE. EXPOSED FASTENING ANCHORS TO BE RUN IN CLEAN WORKMANLIKE MANNER PER MANUFACTURER'S INSTRUCTIONS.
- (16) NEW EAVESTROUGH AS DETAILED AND SPECIFIED.

- (17) AT EXISTING ROOF INTERFACE WITH EXISTING WALL PLANE / PRE-FINISHED METAL FASCIA, REMOVE EXISTING PRE-FINISHED METAL FASCIA TO ALLOW NEW FLASHING (STEP FLASHING) FROM THE ROOF TO GO UP THE WALL PLANE AND OVER LEAKING PROFILE. SHIP LAP FLASHING FROM ROOF LINE ABOVE OVER LOWER FLASHING TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE. PROVIDE NEW PRE-FINISHED METAL FASCIA AFTER NEW ROOF UNDERLAYMENTS AND ROOF SHINGLES ARE COMPLETE.
- (18) REMOVE EXISTING PRE-FINISHED FLASHING (43"VERT X 12" ANGLED TO MATCH ROOF SLOPE) USED TO CONCEAL EXPOSED TOP SIDE OF ASPHALT SHINGLE AND EXISTING FASCIA. PROVIDE NEW PRE-FINISHED FLASHING TO MATCH EXISTING REMOVED CAULK ANCHORS AND SEALANT DAUBS.
- (19) NEW DRIP FLASHING AROUND BUILDING PERIMETER. SEE DETAIL 5/A-2.
- (20) NEW RAKE FLASHING AROUND BUILDING PERIMETER. SEE DETAIL 4/A-2.
- (21) EXISTING RAIN WATER LEADER (RWL) TO REMAIN. PROTECT FROM DAMAGE.
- (22) REMOVE EXISTING RAIN WATER LEADER (RWL) AND PROVIDE NEW RWL (SEE SPECIFICATIONS).
- (23) NEW RWL (SEE SPECIFICATIONS).
- (24) NEW PRECAST CONCRETE SPLASH PAD (12"x48").
- (25) NEW PRECAST CONCRETE SPLASH PAD (12"x32") CUT DOWN FROM (12"x48").
- (26) REMOVE PORTION OF EXISTING PRE-FINISHED FASCIA DUE TO PAINT DAMAGE. REPLACE W/ NEW TO MATCH EXISTING ADJACENT.
- (27) REMOVE AND REINSTALL EXISTING ROOF VENTILATOR (BROWN) TO ALLOW NEW UNDERLAYMENT AND SHINGLES. PROVIDE NEW UNDERLAYMENT (SHIP LAP STYLE) TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE.
- (28) EXISTING MECHANICAL GOOSENECK ASSEMBLY TO REMAIN. PROVIDE NEW UNDERLAYMENT (SHIP LAP STYLE) TO PROMOTE WATERSHED AWAY FROM BUILDING ENVELOPE. SAND AND PAINT MATT BROWN (TO MATCH EXIST. BROWN ROOF VENTILATORS).
- (29) REMOVE EXISTING XFLORNET ROOF MOUNT SATELLITE RECEIVER DASH AND WIRING. SAVE FOR REINSTALL AND REINSTATE IN SAME LOCATION AFTER NEW ROOF ASSEMBLY IS IN PLACE. EXPOSED WIRING TO BE RUN IN STRAIGHT LINE W/ ANCHORS IN A STRAIGHT AND CLEAN WORKMANLIKE MANNER. PROVIDE SEALANT DAUBS OVER ANCHORS AT SATELLITE DISH MOUNT.
- (30) EXISTING PLUMBING VENT LOCATION TO REMAIN. REMOVE JACK FLASHING AND PROVIDE NEW JACK FLASHING AND EXTENSION TO VENT. THIS SPECIFIC LOCATION TO RECEIVE A GUELED ON CAP AS IT IS UNDERSTOOD TO BE INACTIVE. IF FOUND TO BE AN ACTIVE PLUMBING VENT DUE TO FURTHER ON-SITE INVESTIGATION, DO NOT INSTALL GUELED ON CAP. SEE DETAIL 1/A-2 SIM.
- (31) EXISTING FASCIA MOUNTED IRRIGATION RAIN SENSOR TO REMAIN. PROTECT IN PLACE FROM DAMAGE.
- (32) REMOVE EXISTING 2 FLY SBS MEMBRANE ROOFING SYSTEM, INCL. BARS, RIGID INSULATION (SLOPE) TO DRAIN AND VAPOUR BARRIER. EXISTING PLYWOOD ROOF SHEATHING IS TO REMAIN UNLESS OTHERWISE NOTED.

- (33) NEW TWO ROOF ASSEMBLY (AS DETAILED AND SPECIFIED) OVER EXISTING ROOF. PRIOR TO INSTALLING NEW TWO ASSEMBLY, EXISTING FLASHING ROOF AND REMOVE ALL DETERIORATED ROOF SHEATHING. PROVIDE SUFFICIENT AND INSTALL OF SHEET (4' X 8') OF 5/8" PL. YUCCO SHEATHING IN BID PRICE WILL NEED TO BE REMOVED AND REPLACED. VERIFY ACTUAL SHEATHING THICKNESS ON SITE AND MATCH, NAIL NEW SHEATHING W/ 3" NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. IN FIELD. SEE SPECIFICATIONS FOR ROOF SYSTEM.
- (34) NEW LOW SLOPE ROOF MEMBRANE INTERFACE WITH EXISTING STUCCO WALL FINISH. SEE DETAILS 1/A-3 AND 8/A-3.
- (35) EXISTING FLASHING AT UNDERSIDE OF EXISTING STUCCO TO REMAIN. REMOVE EXISTING FASTENERS AND SEALANT DAUBS AT EXISTING FLASHING TO ALLOW NEW UNDERLAYMENT AND NEW SHINGLES TO BE JOINED TO EXISTING FLASHINGS. WHEN NEW ASPHALT ROOF ASSEMBLY IS IN, RE-FASTEN FLASHING CW SEALANT DAUBS AT FASTENER HEADS. PROTECT EXISTING STUCCO ASSEMBLY. SEE DETAIL 12/A-2.
- (36) REMOVE PORTION OF EXISTING PRE-FINISHED SOFFIT AT INTERFACE WITH EXISTING ASPHALT SHINGLES TO ALLOW EXISTING SHINGLE REMOVAL. SAVE SOFFIT FOR REINSTALLATION. PROVIDE NEW STEP FLASHING PRIOR TO REINSTALL OF EXISTING SOFFIT TO ALLOW PROPER TERMINATION OF NEW UNDERLAYMENT AND NEW ASPHALT SHINGLES.
- (37) REMOVE PORTION OF EXISTING PRE-FINISHED SOFFIT AT INTERFACE WITH EXISTING ASPHALT SHINGLES TO ALLOW EXISTING SHINGLE REMOVAL. SAVE SOFFIT FOR REINSTALLATION. PROVIDE NEW UNDERLAYMENT AND NEW ASPHALT SHINGLES PRIOR TO REINSTALL OF EXISTING SOFFIT.
- (38) EXISTING STEP FLASHING AT UNDERSIDE OF EXISTING STUCCO TO REMAIN. REMOVE EXISTING ASPHALT SHINGLES AND EXISTING UNDERLAYMENTS. PROVIDE NEW SPECIFIED UNDERLAYMENTS UNDER EXISTING STEP FLASHING AND NEW ASPHALT SHINGLES OVER. PROTECT EXISTING STUCCO ASSEMBLY.
- (39) REMOVE EXISTING ROOF DRAIN ASSEMBLY AND SAVE FOR REUSE IN NEW ROOF ASSEMBLY. REINSTALL 6" DIA. ROOF DRAIN ASSEMBLY. COORDINATE NEW TWO MEMBRANE ASSEMBLY WITH SALVAGED ROOF DRAIN TO MAINTAIN WATER-TIGHT BUILDING ENVELOPE AND ALLOW PROPER WATER FLOW INTO ROOF DRAIN. SEE DETAILS 2/A-3 AND 5/A-3.
- (40) REMOVE EXISTING SHED GABLE VENT. REMOVE RUST, SAND, PRIME, PAINT TO MATCH EXISTING COLOR AND REINSTALL IN EXISTING LOCATION.

MARK	DATE	REVISION
ARCHITECT		
<div><p>1919 10th Avenue S.W. Calgary, Alberta, T3C 0K3 (403) 229 3233 design@gdgarchitecture.com</p></div>		
CONSULTANTS		
STAMP		
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PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS		
PROJECT NAME ROCKY MOUNTAIN HOUSE		
ROOF REPLACEMENT		
RED DEER ALBERTA STAKE		
PROJECT ADDRESS 6211 – 60 STREET ROCKY MOUNTAIN HOUSE ALBERTA		
SHEET TITLE DEMOLITION/ NEW CONSTRUCTION ROOF PLAN		
PROJECT DESIGNATION 515-5037-1904-0101		
GDG NUMBER 19113	SHEET NO.	
CNA WORK ORDER		
FDP 25223	A-1	
DATE AUG 2019		



GENERAL NOTES:

1. ALL ROOFING WORK TO MANUFACTURER'S STANDARD DETAILS FOR SPECIFIED ROOFING SYSTEM.
2. CONFIRM EXISTING CONDITIONS ON SITE FOLLOWING DEMOLITION.
3. APPROXIMATE EXISTING STRUCTURE TO REMAIN DISPLAYED IN TONE

MARK	DATE	REVISION

ARCHITECT

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CONSULTANTS

STAMP

STAMP

PROJECT FOR
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME
ROCKY MOUNTAIN HOUSE

ROOF REPLACEMENT

RED DEER ALBERTA STAKE

PROJECT ADDRESS
6211 - 60 STREET
ROCKY MOUNTAIN HOUSE
ALBERTA

SHEET TITLE
DETAILS

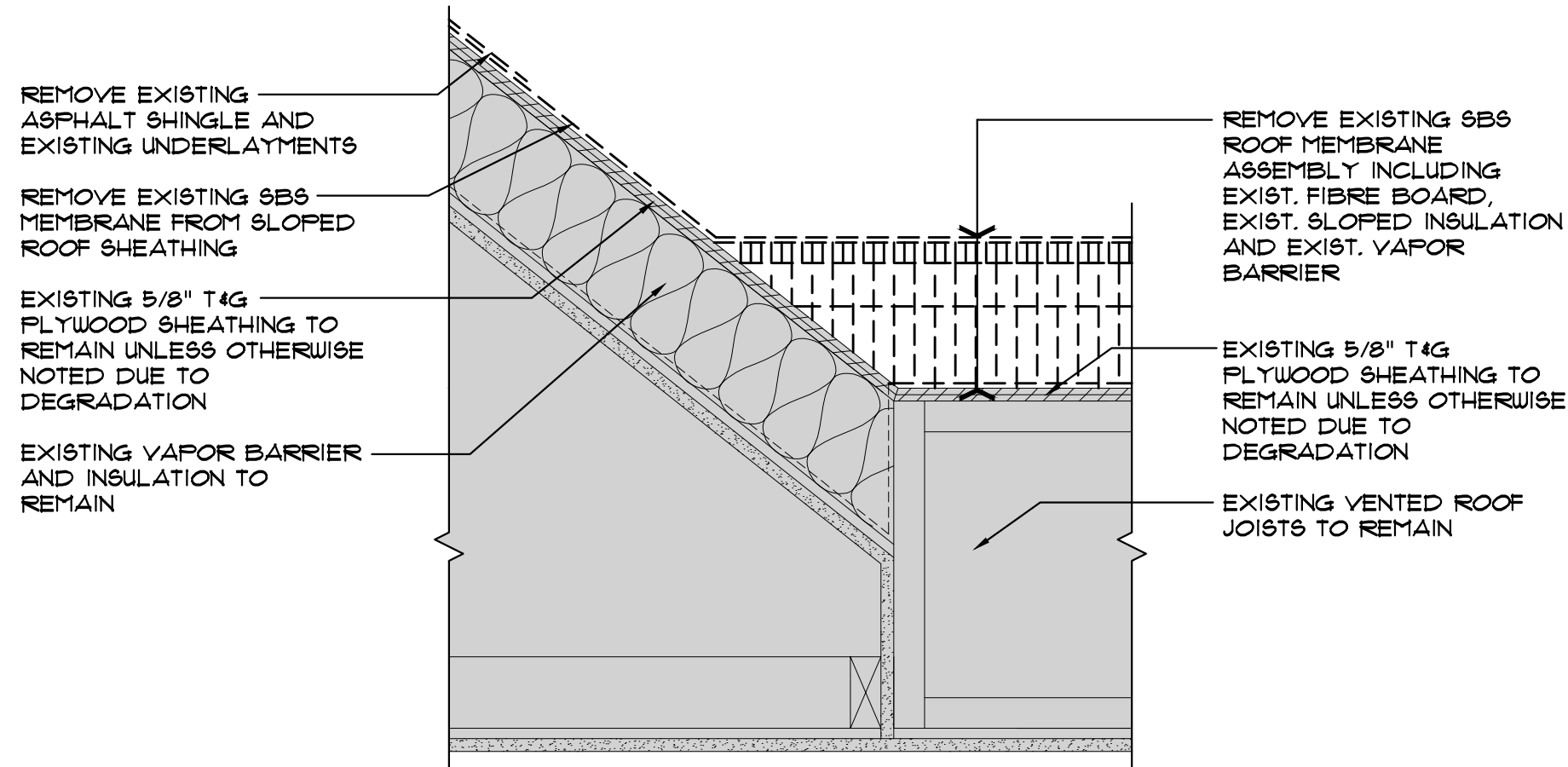
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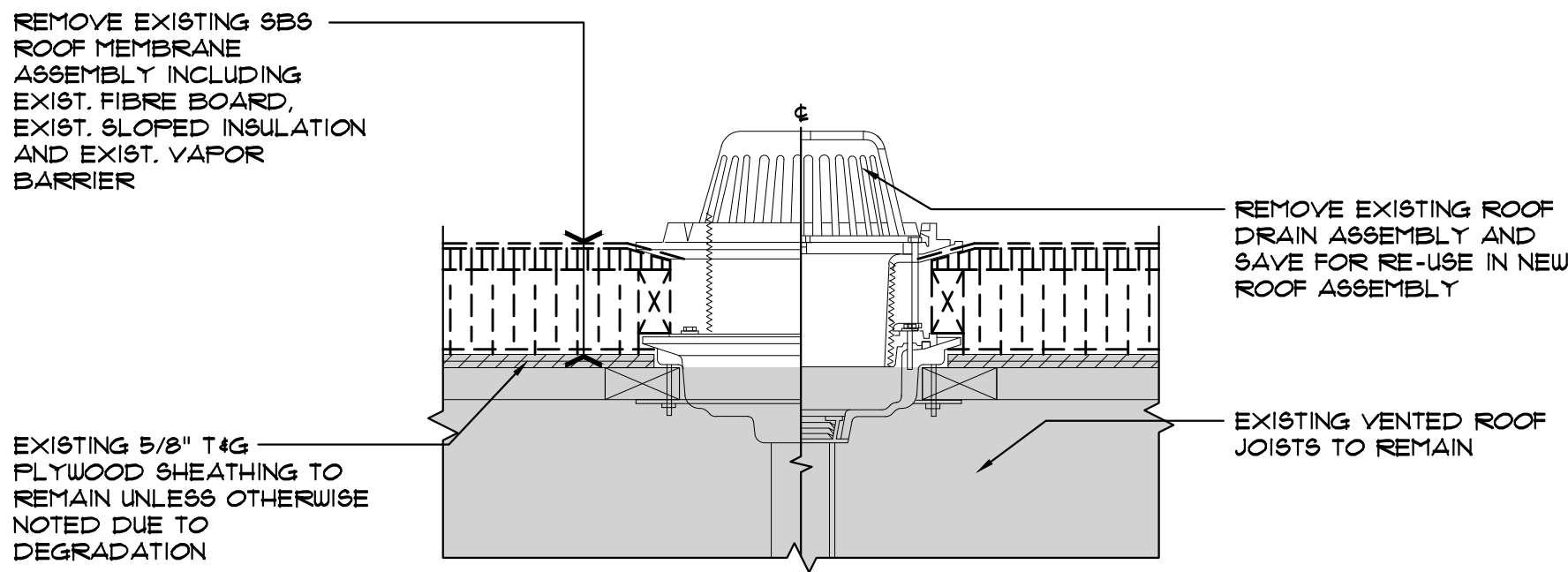
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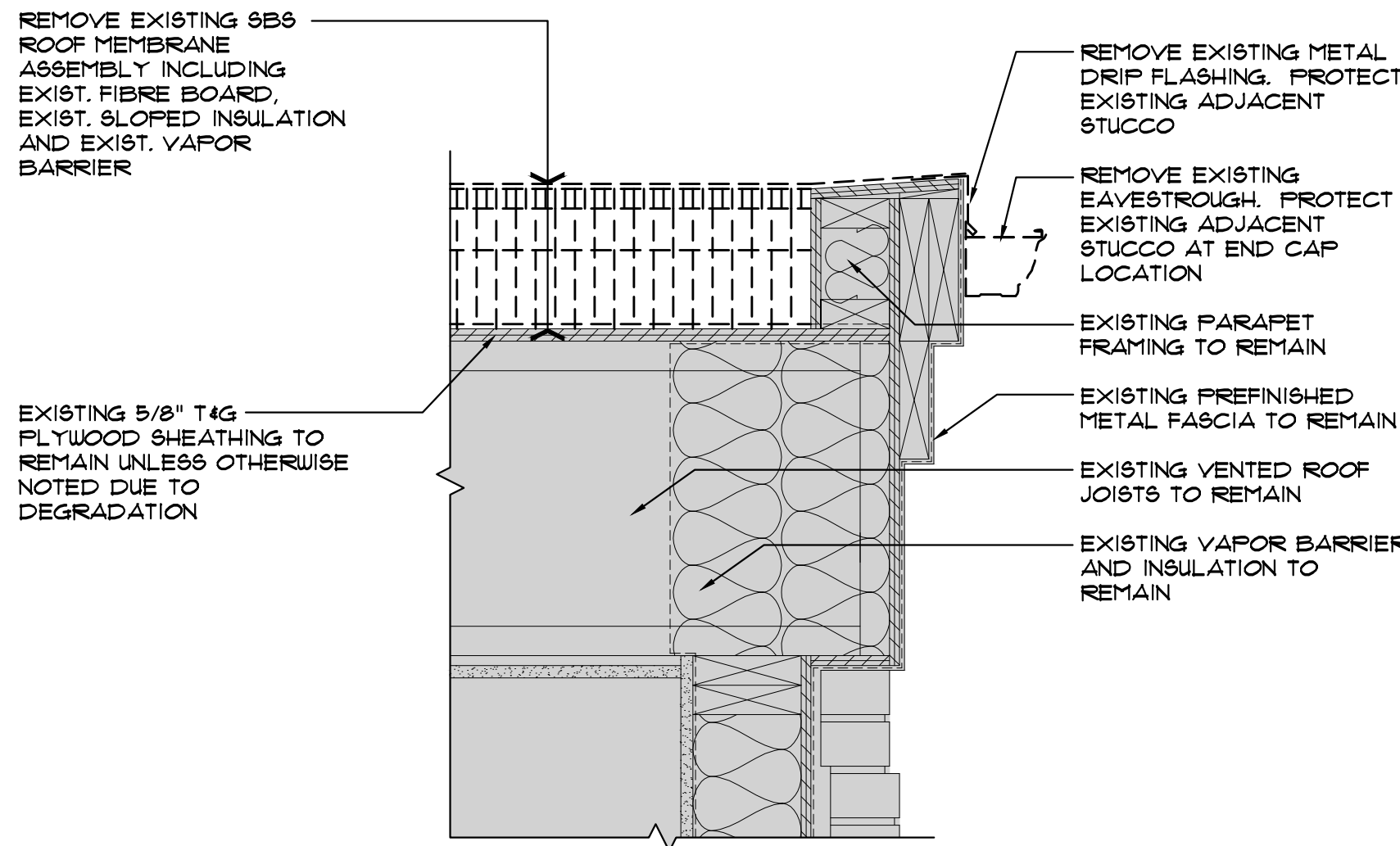
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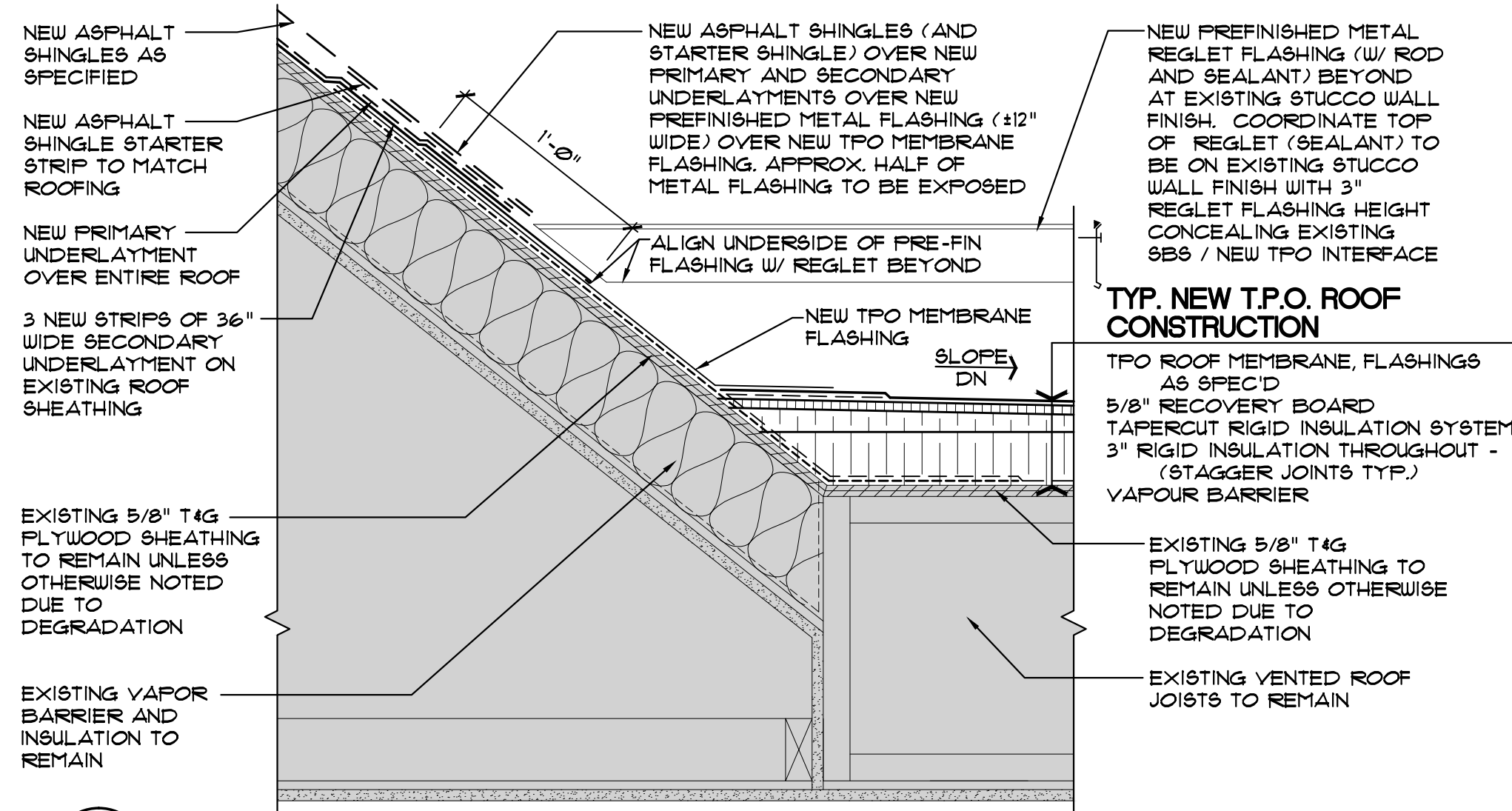
1 LOW ROOF - DEMO
A-3 SCALE: 1 1/2" = 1'-0"



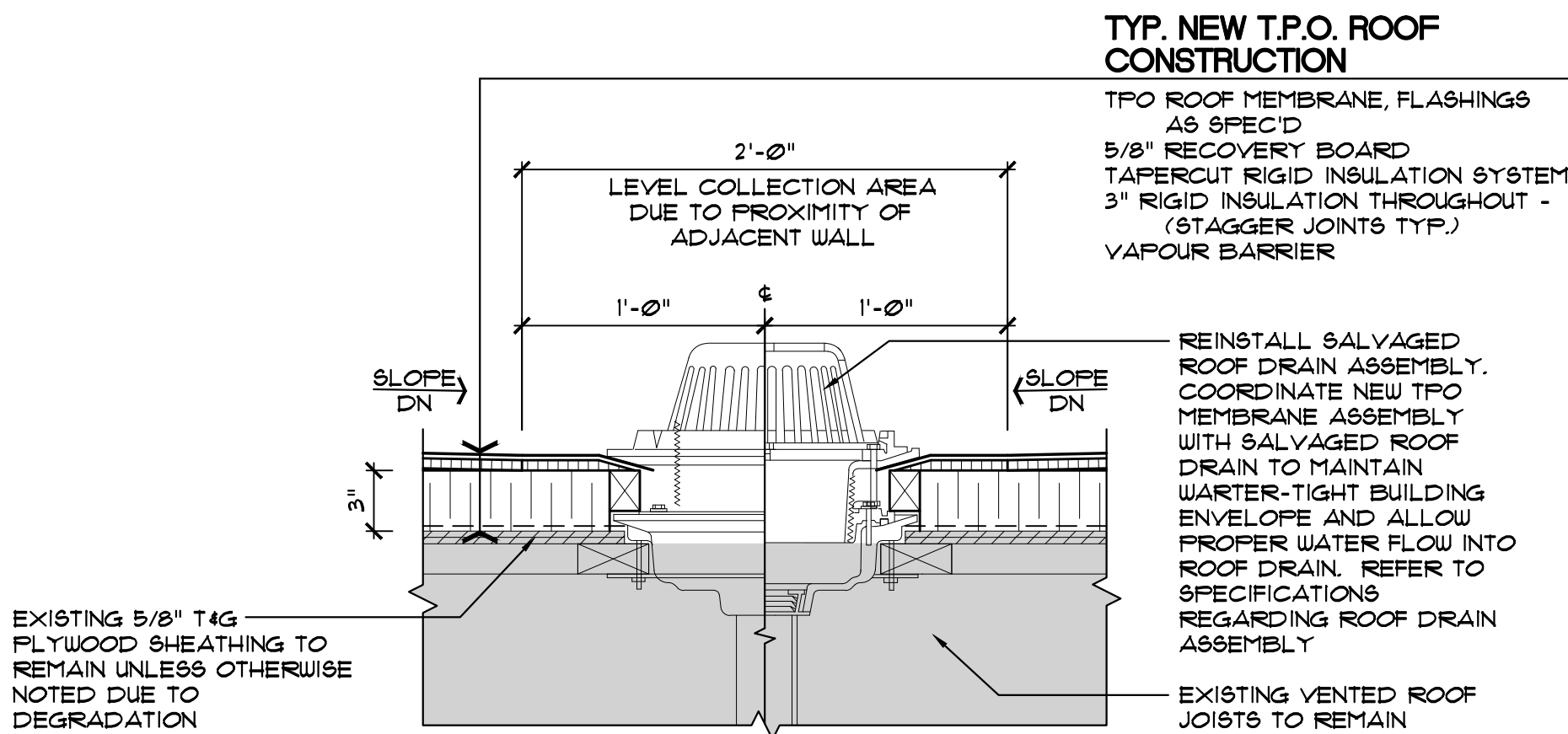
2 LOW ROOF - DEMO
A-3 SCALE: 1 1/2" = 1'-0"



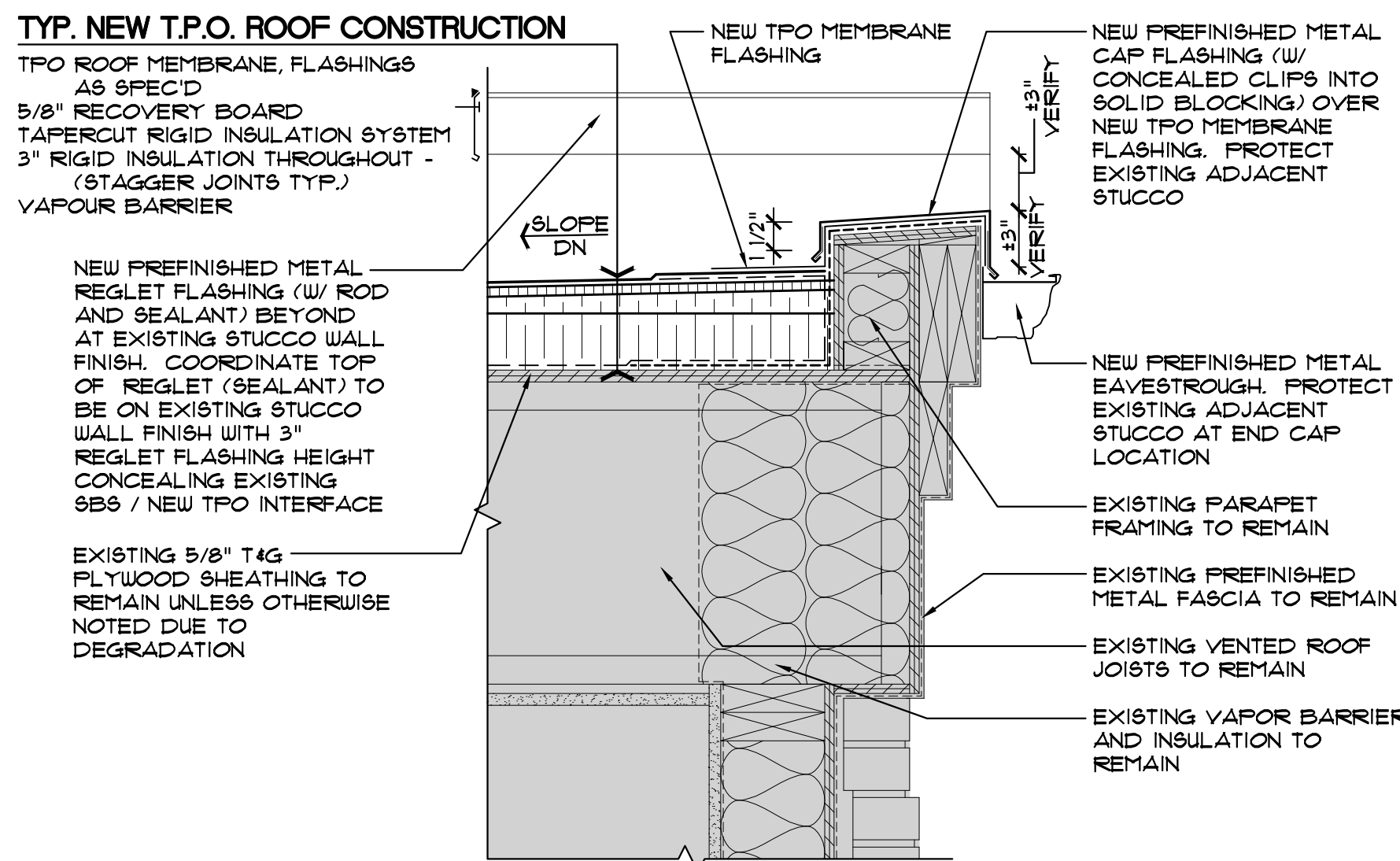
3 LOW ROOF - DEMO
A-3 SCALE: 1 1/2" = 1'-0"



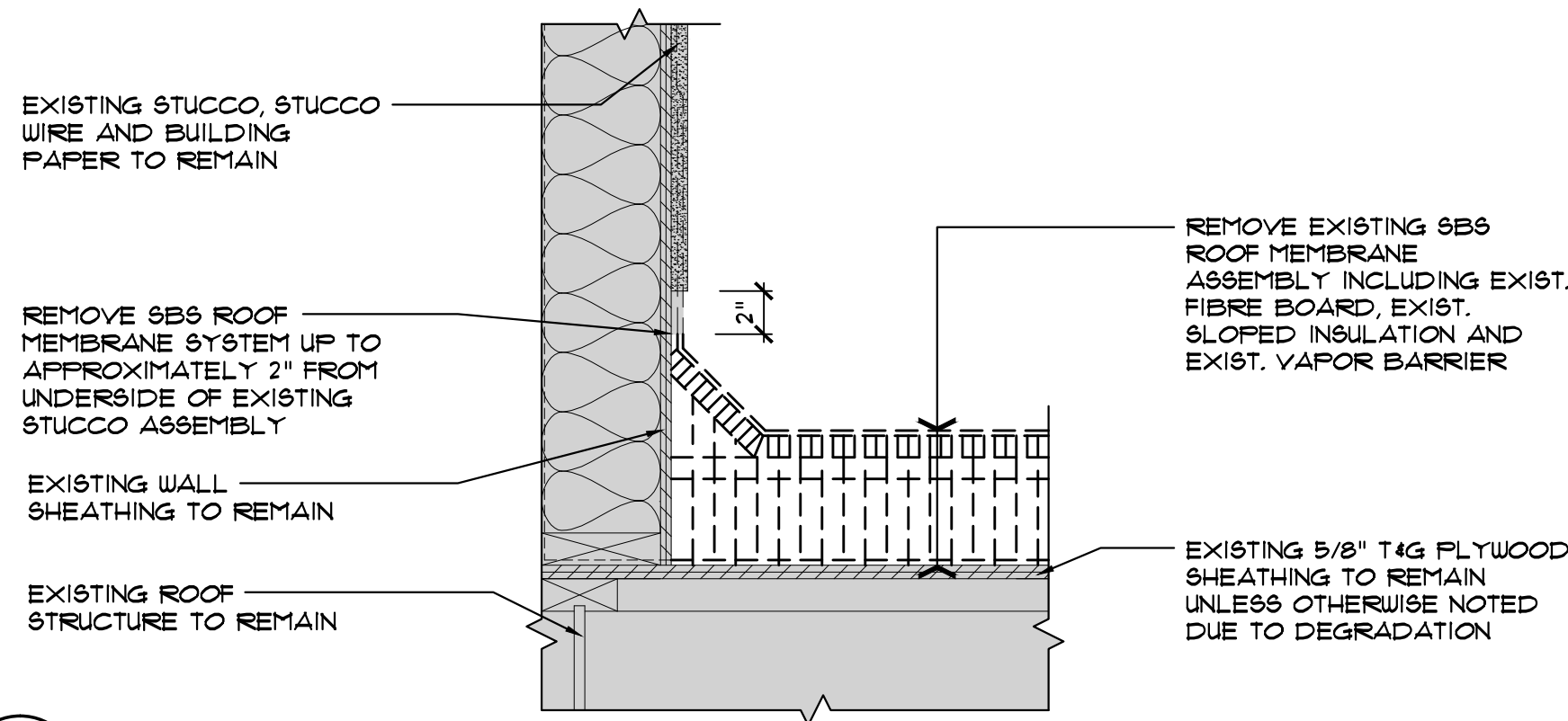
4 LOW ROOF - NEW
A-3 SCALE: 1 1/2" = 1'-0"



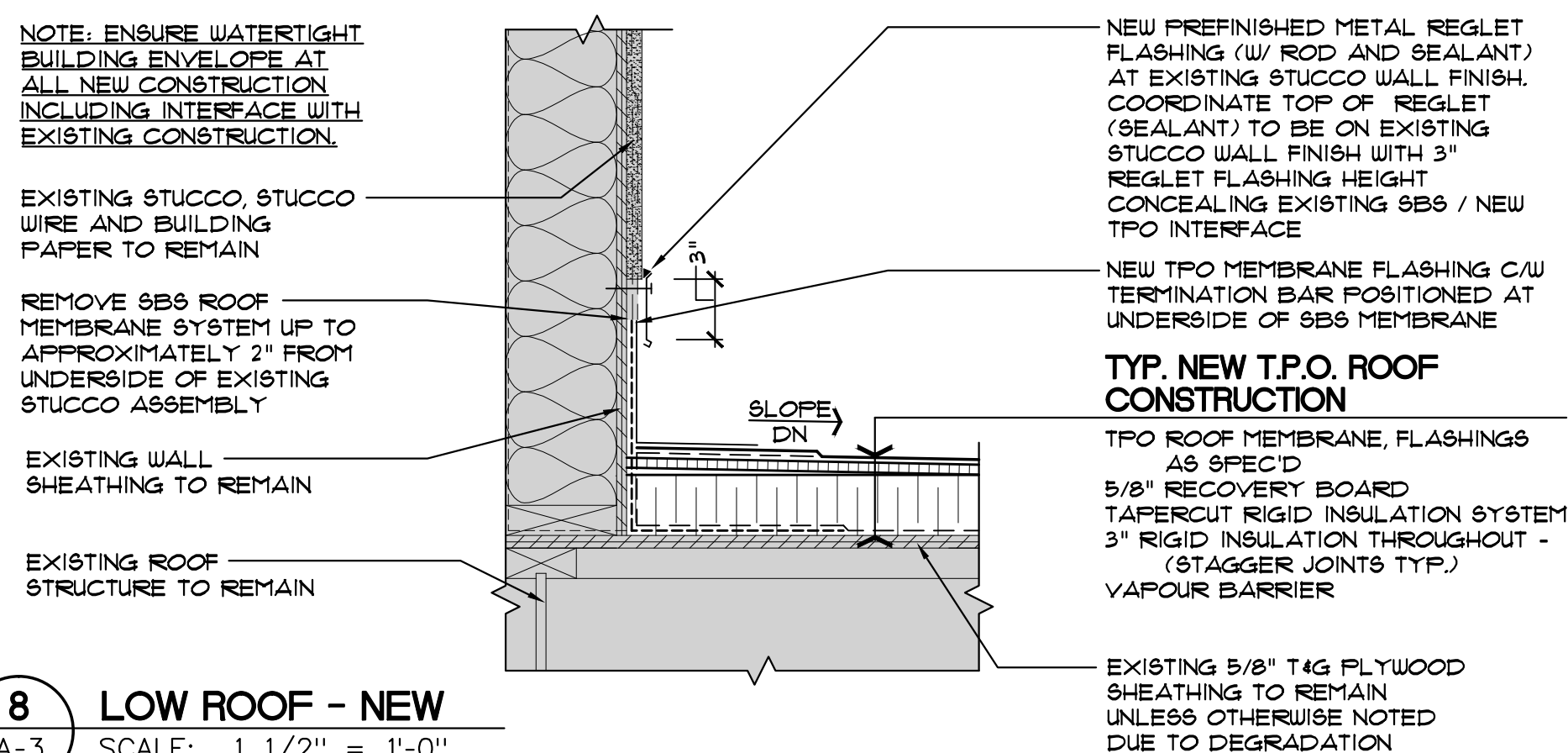
5 LOW ROOF - NEW
A-3 SCALE: 1 1/2" = 1'-0"



6 LOW ROOF - NEW
A-3 SCALE: 1 1/2" = 1'-0"



7 LOW ROOF - DEMO
A-3 SCALE: 1 1/2" = 1'-0"



8 LOW ROOF - NEW
A-3 SCALE: 1 1/2" = 1'-0"

GENERAL NOTES:

- ALL ROOFING WORK TO MANUFACTURER'S STANDARD DETAILS FOR SPECIFIED ROOFING SYSTEM.
- CONFIRM EXISTING CONDITIONS ON SITE FOLLOWING DEMOLITION.
- APPROXIMATE EXISTING STRUCTURE TO REMAIN DISPLAYED IN TONE



MARK	DATE	REVISION
ARCHITECT		
<div><div><div><div><div><div></div><div>G</div><div>D</div><div>G</div></div></div><div><i>Architectural Group</i></div></div></div></div>		
1919 10th Avenue S.W. Calgary, Alberta, T3C 0K3 (403) 229 3233 design@gdgarchitecture.com		
CONSULTANTS		
STAMP		
STAMP		
PROJECT FOR THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS PROJECT NAME ROCKY MOUNTAIN HOUSE ROOF REPLACEMENT RED DEER ALBERTA STAKE PROJECT ADDRESS 6211 - 60 STREET ROCKY MOUNTAIN HOUSE ALBERTA		
SHEET TITLE DETAILS		
PROJECT DESIGNATION 515-5037-1904-0101		
GDG NUMBER 19113		SHEET NO. A-3
CNA WORK ORDER FDP 25223		
DATE AUG 2019		