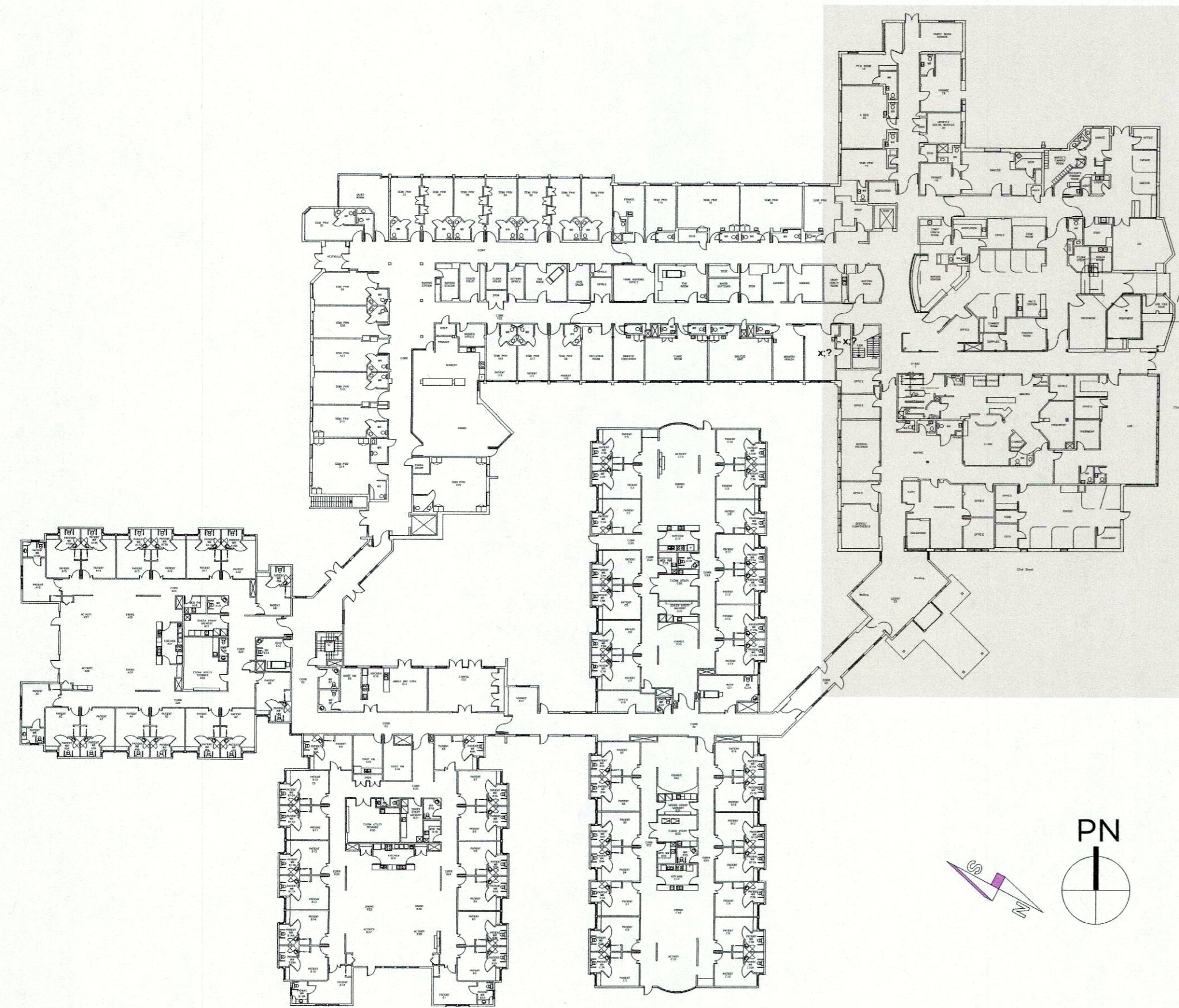
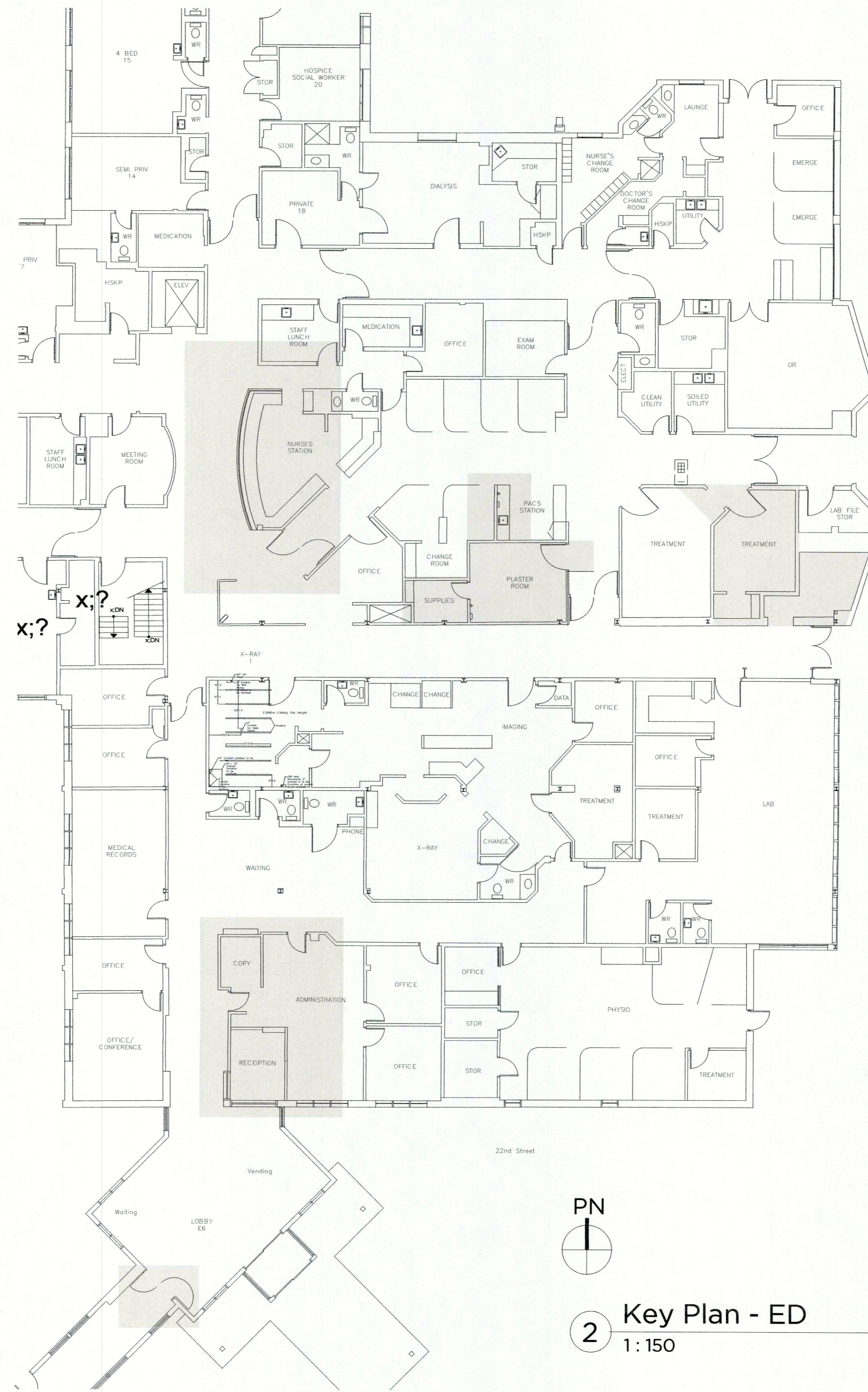


# BDH SECURE ROOM - 6319003 & BDH SECURITY UPGRADE - 6320003

ISSUED FOR CONSTRUCTION  
2020-02-25



1 Key Plan - Building  
1: 500



2 Key Plan - ED  
1: 150

## ARCHITECTURAL

## MECHANICAL

## ELECTRICAL

### CONSULTANTS

COVER ARCHITECTURAL COLLABORATIVE INC.  
5-320 VERNON ST.  
NELSON, BC V1L 4E4  
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200-1628 DICKSON AVENUE,  
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(250) 860-2257

### DRAWING LIST

A000 COVER PAGE  
A001 NOTES & LEGENDS  
A100 HOARDING AND PHASING  
A201 SECURITY UPGRADE - NURSES STATION  
A202 SECURITY UPGRADE - RECEPTION  
A203 TREATMENT ROOM  
A204 SECURE ROOM - DEMOLITION  
A205 SECURE RM - CONSTRUCTION

M-001 COVER PAGE  
M-100 CRAWLSPACE MECHANICAL PLAN  
M-101 CRAWLSPACE NEW CONSTRUCTION  
MECHANICAL PLAN  
M-102 MAIN FLOOR PLUMBING AND FIRE  
PROTECTION DEMO PLAN  
M-103 MAIN FLOOR PLUMBING AND FIRE  
PROTECTION NEW CONSTRUCTION  
PLAN  
M-201 MAIN FLOOR HVAC DEMO PLAN  
M-202 MAIN FLOOR HVAC NEW  
CONSTRUCTION PLAN

E-000 SYMBOL LEGEND  
E-001 KEY PLAN  
E-100 SECLUSION ROOM  
E-200 PLASTER/ TREATMENT ROOM  
E-300 NURSE CALL STATION, MAIN ENTRANCE & SCHEDULE

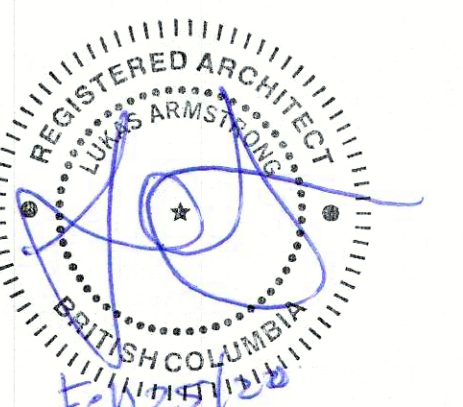


### ARCHITECTURE

5 - 320 Vernon Street  
Nelson BC  
V1L 4E4  
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### CONSULTANTS



### CLIENT



### REVISIONS

No.	Date	Description
01	2019-04-16	SD REVIEW
02	2019-06-21	50% REVIEW
03	2019-07-12	95% REVIEW
04	2019-08-06	95% REVIEW
05	2019-12-05	TENDER
06	2020-01-29	BP
07	2020-02-25	IFC

BDH SECURE ROOM  
# 6319003 &  
BDH SECURITY  
UPGRADE  
# 6320003

### ADDRESS

7649 22ND Street  
Grand Forks, BC  
VOH 1H2

### PROJECT #

19021

### DATE

2020-02-25

### SHEET

COVER PAGE

**A000**



# GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS, FINISHES SCHEDULE AND OWNERS SUPPLY SCHEDULE.
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE BRITISH COLUMBIA BUILDING CODE 2012 EDITION (BCBC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- BUILDING CODE, SAFETY STANDARDS, AND REGULATORY STATUTE REFERENCES ON DRAWINGS ARE FOR AUTHORITY REVIEW PURPOSES ONLY. THE PRESENCE OF THE AFOREMENTIONED NOTES DOES NOT RELEASE THE CONTRACTOR AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THE PROJECT FROM THEIR LEGAL AND STATUTORY RESPONSIBILITY TO CONFORM TO THE LAW OF THE LAND IN CONSTRUCTION AND THE CONSTRUCTION OF THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- IF ADJUSTMENTS ARE REQUIRED, ADVISE THE CONSULTANT PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ADVANCE WITH OWNER.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION.
- COORDINATE WITH OWNER THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- IF CONTRACTOR FINDS ASBESTOS OR OTHER HAZARDOUS MATERIALS IN THE COURSE OF THE WORK, STOP WORK AND IMMEDIATELY REPORT TO CONSULTANT.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF EQUIPMENT AND COVER PLATES.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES. REFER TO RESPECTIVE DISCIPLINES FOR COMPLETE LAYOUTS.
- REFER TO THE SPECIFICATIONS FOR DETAILS AROUND ALTERNATE PRICES AND CASH ALLOWANCES.
- FLOORS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

# ABBREVIATIONS

AC. ACOUSTIC	ADJ. ADJUSTABLE	AL.T. ALTERNATE	ALUM. ALUMINUM	ANOD. ANODIZED	APPROX. APPROXIMATE	AVM AIR/VAPOUR/MOISTURE	BD. BOARD	BLDG. BUILDING	BLK. BLOCK	BLKG. BLOCKING	BM. BEAM	BOT. BOTTOM	CB. CATCH BASIN	CG. CORNER GUARD	COL. CAST IN PLACE	COMP. CONTROL JOINT	CL. CENTER LINE	CLG. CEILING	CMU. CONCRETE MASONRY UNIT	COL. COLUMN	COMP. COMPACTED	CONC. CONCRETE	CONT. CONTINUOUS	CORR. CORRIDOR	COV. COVER	C/W COMPLETE WITH CONTRACTOR SUPPLY-CONTRACTOR INSTALL	CS/CI	DEG. DEGREE	DF. DRINKING FOUNTAIN	DIA. DIAMETER	DIAG. DIAGONAL	DN. DOWN	DRY. DRYER (CLOTHES)	DS. DOWNSPOUT	DWG(S). DRAWINGS	EA. EACH	EA.F. EACH FACE	ELEC. ELECTRICAL	ELEV. ELEVATION	EQ. EQUAL	ES. EXPOSED STRUCTURE	EXIST. EXISTING	EXP. EXPOSED	EXP.JT. EXPANSION JOINT	EXT. EXTERIOR	EXT.GR. EXTERIOR GRADE	FOC. FACE OF CURB	F. FILM	FD. FLOOR DRAIN	FDN. FOUNDATION	FE. FIRE EXTINGUISHER	FEC. FIRE EXTINGUISHER CABINET	FHC. FIRE HOSE CABINET	FIN.GD. FINISHED GRADE	FLR. FLOOR	FP. FIRE PLACE	FRP. FIBER REINFORCED PLASTIC	FRS. FIRE SHUTTER	FTG. FOOTING	FURR. FURRING	F/O. FACE OF	GA. GAUGE	GB. GRAB BAR	GL. GLASS	GLULAM. GLUE-LAMINATED	GR. GRADE	GWB. GYPSUM WALL BOARD	GWB.WR. GYPSUM WALL BOARD - WATER RESISTANT	HCW. HOLLOW CORE WOOD	HDR. HEADER	HD.WD. HARD WOOD	HHS. HAND HYGIENE SINK	HM. HOLLOW METAL	HORZ. HORIZONTAL	HSS. HOLLOW STRUCTURAL SECTION	HTR. HEATER	HWT. HOT WATER TANK	ID. INSIDE DIAMETER	IF. INSIDE FACE	INSUL. INSULATION	INT. INTERIOR	JT. JOINT	LAV. LAVATORY	LG. LONG	M.STD. METAL STUD	m. METER	MATL. MATERIAL	MAX. MAXIMUM	MDF. MEDIUM DENSITY FIBREBOARD	MECH. MECHANICAL	MEZZ. MEZZANINE	MH. MANHOLE	MIN. MINIMUM	MISC. MISCELLANEOUS	mm. MILLIMETERS	MO. MASONRY OPENING	MR. MOISTURE RESISTANT	MS. MOP SINK	NC. NOT IN CONTRACT	NO. (#) NUMBER	NTS. NOT TO SCALE	O/C. ON CENTER	O.D. OUTSIDE DIAMETER	O.S.F. OUTSIDE FACE	OPP. OPPOSITE	OSB. ORIENTED STRAND BOARD	OS/OI. OWNER SUPPLY-OWNER INSTALL	OS/CI. OWNER SUPPLY-CONTRACTOR INSTALL	OS/VI. OWNER SUPPLY-VENDOR INSTALL	OWSJ. OPEN WEB STEEL JOIST	PAT. PATIENT	PERIM. PERIMETER	PG. PLATE GLASS	PJ. PARALAM JOIST	PLY. PLYWOOD	P.LAM. PLASTIC LAMINATE	POLY. POLYETHYLENE	PP. POWER POLE	PAIR. PAIR	PARALAM. PARALAM STEEL CONNECTION	PSF. PRESSED STEEL FRAME	PT. PRESSURE TREATED	PTD. PAPER TOWEL DISPENSER	PROJ. PROJECTION	PVC. POLYVINYL CHLORIDE	PVCW. POLYVINYL CHLORIDE WALLCOVERING	RAD. RADIUS	RB. ROLLER BLINDS	RCP. REFLECTED CEILING PLAN	RD. ROOF DRAIN	REINF. REINFORCED	REQ'D. REQUIRED	REV. REVISION	RTU. ROOF TOP UNIT	RM. ROOM	RO. ROUGH OPENING	RWDP. RAIN WATER DOWN PIPE	RWL. RAIN WATER LEADER	SAP. SUSPENDED ACOUSTIC PANEL	SCW. SOLID CORE WOOD	SD. SOAP DISPENSER	SAN.D. SANITARY DISPOSAL	SEC.G. SECURITY GRILLE	SECT. SECTION	SG. SEMI-GLOSS	SHTG. SHEATHING	SIM. SIMILAR	SIM.G. SNOW GUARD	SOG. SLAB ON GRADE	STC. SOUND TRANSMISSION CLASS	SPEC. SPECIFICATION	SQ. SQUARE	SS. STAINLESS STEEL	STD. STANDARD	STRUC.T. STRUCTURAL	SUSP. SUSPENDED	SYM. SYMMETRICAL	T&G. TONGUE AND GROOVE	TBD. TO BE DETERMINED	TEMP. TEMPERATURE	T/O. TOP OF	TP. TOILET/WASHROOM	TPD. PARTITIONS	TRANS. TRANSFORMER	TS. TRACK SYSTEM	TV. TELEVISION	TYP. TYPICAL	U/C. UNDER COUNTER	U.N.O. UNLESS NOTED OTHERWISE	U/S. UNDERSIDE	VB. VAPOUR BARRIER	VERT. VERTICAL	VEST. VESTIBULE	VC. VERMICARE	V.J. V JOINT	VOL. VOLUME	W/. WITH	WC. WATER CLOSET	WD. WOOD	WF. WALL FOUNTAIN	WW. WELDED WIRE MESH
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# DEMOLITION & CONSTRUCTION NOTES

Key Value	Keynote Text
D1	END OF COUNTER TO BE DEMOLISHED
D2	REMOVE HANDRAIL
D3	REMOVE WALL CABINET
D4	REMOVE BASE CABINET AND COUNTER
D5	PATIENT LIFT TO REMAIN
D6	REMOVE CURTAIN TRACK
D7	REMOVE BASE CABINET AND SHELVES
D8	BEDHEAD TO REMAIN
D9	REMOVE CRUTCHES HOOKS
D10	REMOVE ALL SHELVING AND COUNTER
D11	SINK TO REMAIN
D13	REMOVE EXISTING DOOR AND FRAME
D14	ENLARGE DOOR OPENING
D15	REMOVE EXISTING WALL AND FINISHES
D16	DEMOLISH EXISTING DRYWALL
D17	EXISTING FURNITURE AND EQUIPMENT TO BE REMOVED BY OWNER PRIOR TO DEMOLITION
D18	REMOVE EXISTING RESILIENT SHEET FLOORING AND BASE
D19	REMOVE EXISTING ACOUSTICAL CEILING TILE AND GRID
D21	REMOVE EXISTING SINK
D22	REMOVE EXISTING GLAZING
D23	REMOVE EXISTING TOILET
D24	MOVE FIRE ALARM AND EMERGENCY LIGHTING FURTHER TO ALLOW FOR WALL REMOVAL
D25	MOVE KEYPAD AND PUSH BUTTON FURTHER TO ALLOW FOR WALL REMOVAL
D26	REMOVE CORNER GUARD
D27	REMOVE ALL EXISTING TEMPERED GLASS FROM NURSING STATION, RETAIN EXISTING MILLWORK
D28	END OF COUNTER TO BE DEMOLISHED (PART OF ALTERNATE PRICE 01)
N1	NEW DOOR TO BE INSTALLED
N2	NEW WALL TO BE CONSTRUCTED
N3	CARD READER PROGRAMMED FOR AUTOMATIC OPENING
N4	INSTALL NEW LAMINATED SAFETY GLASS FIXED PANNEL WITH CUTOUTS FOR PASS-THRU AND SPEAKING PORTS. GLASS TO BE INSTALLED INTO EXISTING MILLWORK COUNTER.
N5	INSTALL HANDRAIL AND WALL PROTECTION
N6	NEW COUNTER END TO BE CONSTRUCTED
N7	INSTALL CEILING EQUIPMENT THAT WAS REMOVED FROM PREVIOUS TREATMENT RM
N8	INSTALL MONITOR AND KEYBOARD RACK, WALL MOUNTED
N9	FILE ORGANIZERS TO BE MOUNTED ON WALL
N10	INSTALL NEW TOILET AS SPECIFIED
N11	INSTALL NEW VANITY
N12	INSTALL NEW HAND HYGIENE STATION. REPAIR GABLE END AND MATCH FINISH WITH EXISTING PLASTIC LAMINATE. REPAIR DAMAGED WALL AND FLOORING AS A RESULT OF THE DEMOLITION (PART OF ALTERNATE PRICE 01)
N13	NEW SECURITY GLAZING AS SPECIFIED
N15	INSTALL NEW HAND HYGIENE STATION
N16	INSTALL NEW IMPACT RESISTANT GWB CEILING
N17	INSTALL NEW RESILIENT FLOORING
N19	NEW CONTROL PANEL TO BE INSTALLED
N20	NEW REMOTE MONITORING STATION FOR SECURE ROOM
N21	NEW SECURITY CAMERA
N22	INSTALL NEW FLOOR DRAIN
N23	NEW EXTERNAL BLIND CONTROL FOR SECURE ROOM WINDOW
N24	NEW EXTERNAL BLIND FOR SECURE ROOM WINDOW
N25	ADD A PLASTER TRAP TO THE EXISTING SINK
N26	NEW DETENTION DOOR STOP. EPOXY GROUT INTO EXISTING CONCRETE SLAB.
N27	INSTALL NEW WASHROOM ACCESSORIES AS SPECIFIED
N28	PATCH AND MAKE GOOD FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION ACTIVITIES (WALLS, FLOORS, AND CEILINGS)
N29	PROVIDE NEW PAINT FINISH TO WALLS
N30	PATCH AND MAKE GOOD EXISTING FLOORING AFFECTED BY CONSTRUCTION ACTIVITIES
N31	REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF WORK IN THIS AREA, AND LAYOUTS OF DEVICES AND FIXTURES
N32	INSTALL NEW CORNER GUARD AS SPECIFIED
N33	INSTALL NEW LAMINATED SAFETY GLASS FIXED PANNELS
N34	PROVIDE GLAZING UPGRADE TO NEW LAMINATED SAFETY GLASS FIXED PANELS WITH CUT-OUTS FOR PASS-THRU AND SPEAKING PORTS
N35	PROVIDE MAG-LOCK AND ROAM ALARM UPGRADE TO EXISTING DOUBLE DOORS
N36	PROVIDE CARD ACCESS TO EXISTING DOOR
N37	INSTALL HAND SANITIZER
N38	VELCRO CURTAIN TO BE PROVIDED ON THE EXTERIOR OF THE SECLUSION ROOM DOOR WINDOW. REFER TO SPECIFICATIONS.
N39	INSTALL WALL PROTECTION (PART OF ALTERNATE PRICE 01)
N40	INSTALL WALL PROTECTION
N41	SUPPLY AND INSTALL MIRROR AS SPECIFIED

# GENERAL DEMOLITION NOTES

- DEMOLISH, SALVAGE, REUSE AND/OR DISPOSE OF PRODUCTS AS INDICATED ON DRAWINGS.
- MINIMIZE, TO THE GREATEST EXTENT POSSIBLE, DAMAGE TO ADJACENT SURFACES DURING DEMOLITION.
- ALL CUTTING AND PATCHING WORK SHALL BE DONE IN A MANNER TO RECEIVE NEW WORK AND FINISHES.
- SALVAGED MATERIALS BECOME THE PROPERTY OF THE OWNER UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED IN THE PERFORMANCE OF THE WORK. FIRE-RESISTANCE RATING SHALL MATCH EXISTING.
- CONFIRM LOCATIONS OF ALL MECHANICAL AND ELECTRICAL SERVICES PRIOR TO DEMOLITION. MECHANICAL AND ELECTRICAL ELEMENTS SERVING OTHER FLOORS ARE TO REMAIN UNLESS NOTED OTHERWISE ON MECHANICAL AND ELECTRICAL DRAWINGS.
- TERMINATE AND CAP OFF ALL PROJECTING MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS INDICATED TO BE REMOVED. ENGINEERS DRAWINGS GOVERN THE EXTEND AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS.
- LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES.

# GRAPHIC LEGEND

	View Name	DRAWING REFERENCE
	View Scale	
	GRID LINES	
	NORTH ARROW	
	SECTION REFERENCE	
	HEIGHT ELEVATION REFERENCE	
	INTERIOR/EXTERIOR ELEVATION REFERENCE	

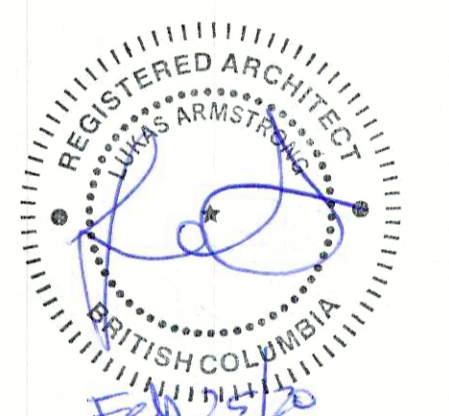
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	CONSTRUCTION KEYNOTES	GRAVEL
	WALL TAG	INSULATION - BATT
	FLOOR/ROOF TAG	INSULATION - RIGID
	WINDOW TAG	INSULATION - SEMI-RIGID
	DOOR TAG	INSULATION - SPRAY FOAM
	ROOM TAG	LANDSCAPING
	EXISTING WALL	MASONRY
	EXISTING WALL TO BE DEMOLISHED	PLYWOOD
	NEW WALL	SAND/GWB
	FIRE SEPARATION	STEEL
	EXISTING BUILDING	WOOD
	HOARDING	
	CONCRETE	
	CONCRETE BLOCK	



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CONSULTANTS



CLIENT

REVISIONS

No.	Date	Description
01	2019-04-16	SD REVIEW
02	2019-05-21	50% REVIEW
03	2019-07-12	95% REVIEW
04	2019-08-06	95% REVIEW
05	2019-12-05	TENDER
06	2020-01-29	BP
07	2020-02-25	IFC

BDH SECURE ROOM # 6319003 & BDH SECURITY UPGRADE # 6320003

ADDRESS  
7649 22ND Street  
Grand Forks, BC  
V0H 1H2

PROJECT #  
19021

DATE  
2020-02-25

SHEET  
NOTES & LEGENDS

A001



REVISIONS

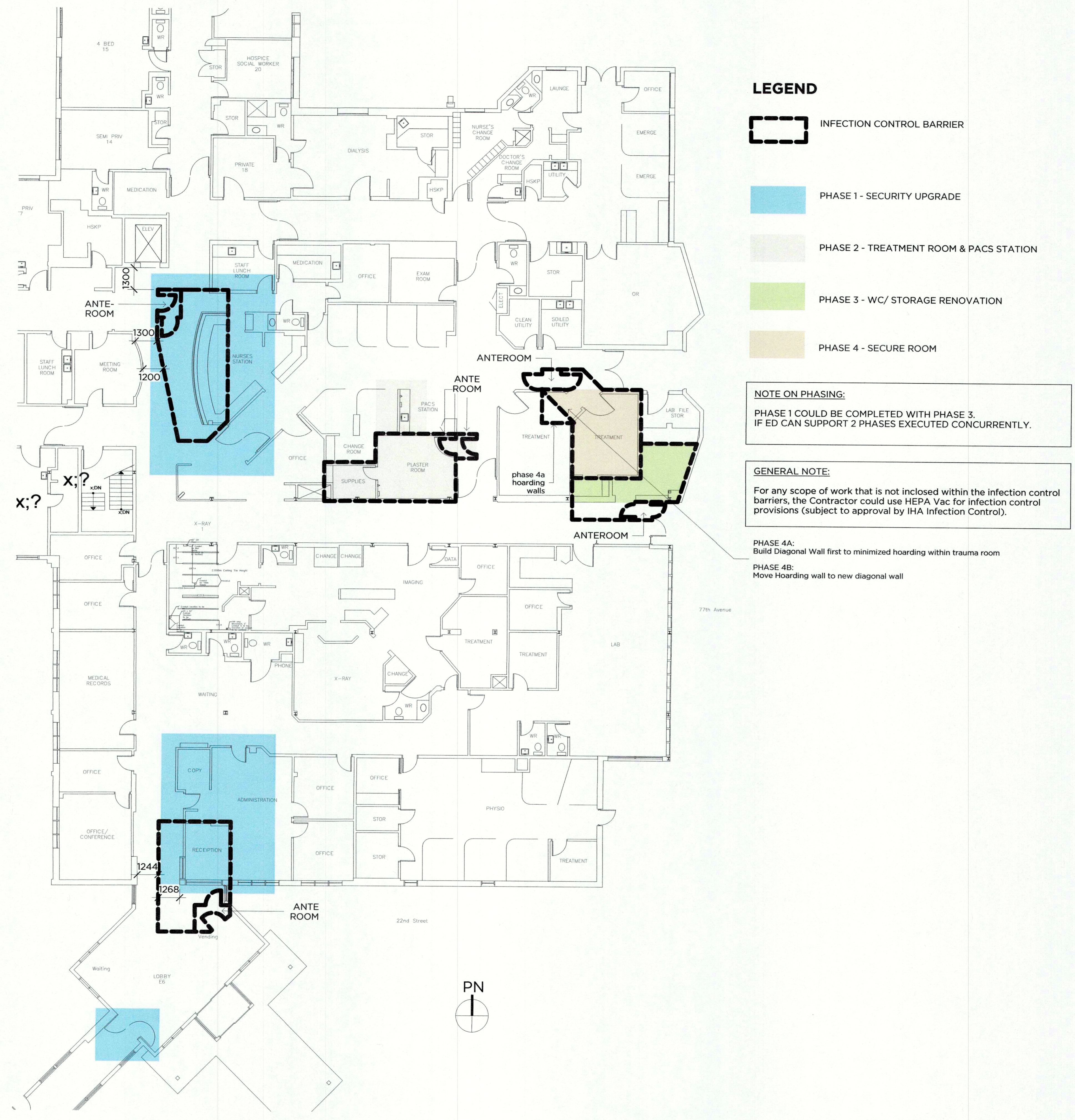
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04	2019-08-06	95% REVIEW
05	2019-12-05	TENDER
06	2020-01-29	BP
07	2020-02-25	IFC

**BDH SECURE ROOM # 6319003 & BDH SECURITY UPGRADE # 6320003**

**ADDRESS**  
7649 22ND Street  
Grand Forks, BC  
V0H 1H2

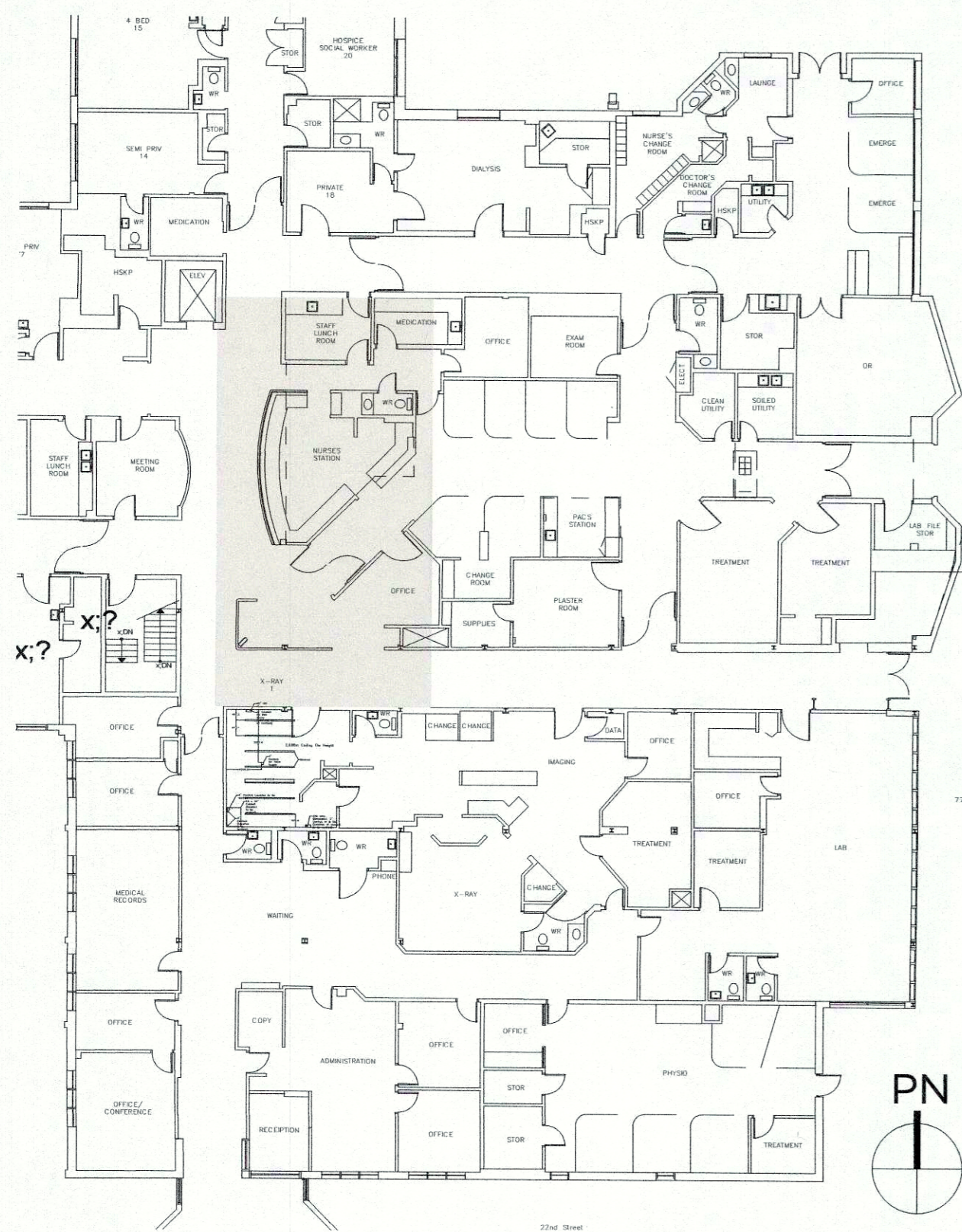
**PROJECT #**  
19021  
**DATE**  
2020-02-25

**SHEET**  
HOARDING AND PHASING  
**A100**

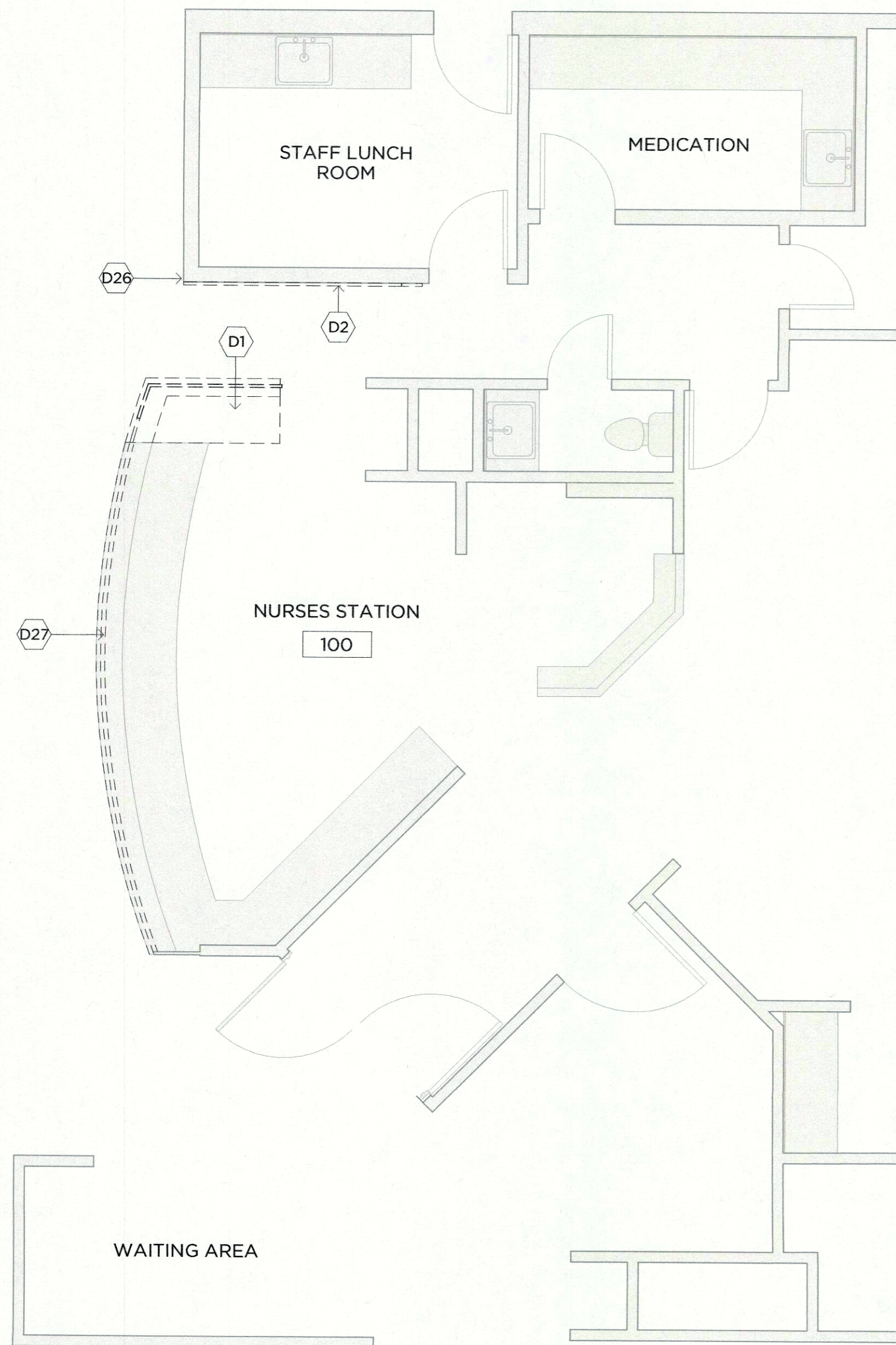


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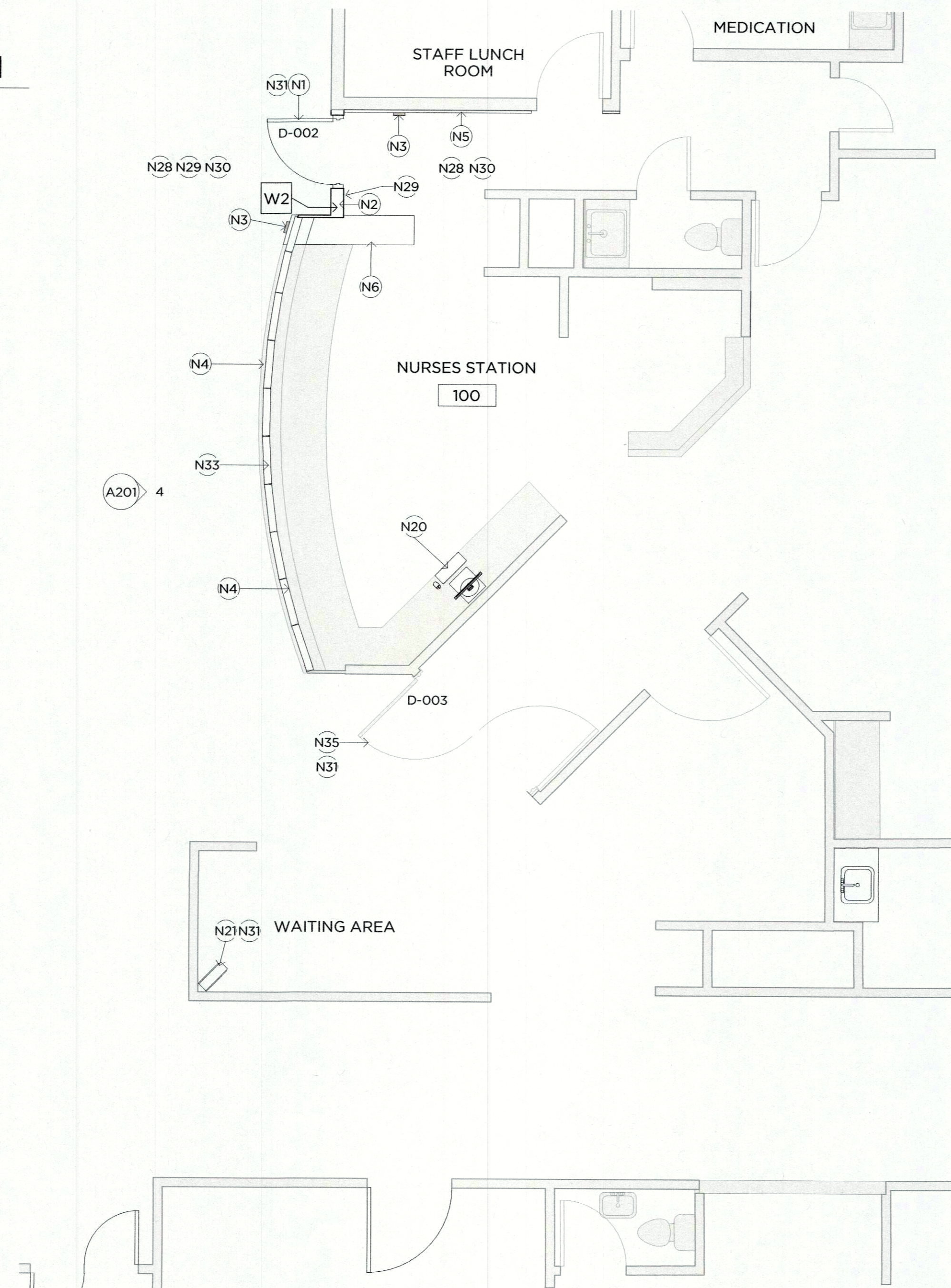
1 Key Plan - ED SECURITY UPGRADE - NURSES STATION  
1: 250



2 Floor Plan (Demolition) - Nurse Station  
1: 50

DEMOLITION KEYNOTES	
Key Value	Keynote Text
D1	END OF COUNTER TO BE DEMOLISHED
D2	REMOVE HANDRAIL
D26	REMOVE CORNER GUARD
D27	REMOVE ALL EXISTING TEMPERED GLASS FROM NURSING STATION, RETAIN EXISTING MILLWORK

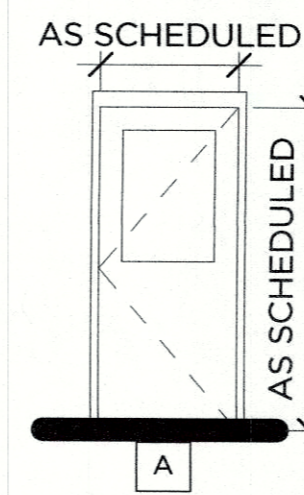
CONSTRUCTION KEYNOTES	
Key Value	Keynote Text
N1	NEW DOOR TO BE INSTALLED
N2	NEW WALL TO BE CONSTRUCTED
N3	CARD READER PROGRAMMED FOR AUTOMATIC OPENING
N4	INSTALL NEW LAMINATED SAFETY GLASS FIXED PANNEL WITH CUTOUTS FOR PASS-THRU AND SPEAKING PORTS. GLASS TO BE INSTALLED INTO EXISTING MILLWORK COUNTER.
N5	INSTALL HANDRAIL AND WALL PROTECTION
N6	NEW COUNTER END TO BE CONSTRUCTED
N20	NEW REMOTE MONITORING STATION FOR SECURE ROOM
N21	NEW SECURITY CAMERA
N28	PATCH AND MAKE GOOD FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION ACTIVITIES (WALLS, FLOORS, AND CEILINGS)
N29	PROVIDE NEW PAINT FINISH TO WALLS
N30	PATCH AND MAKE GOOD EXISTING FLOORING AFFECTED BY CONSTRUCTION ACTIVITIES
N31	REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF WORK IN THIS AREA, AND LAYOUTS OF DEVICES AND FIXTURES
N33	INSTALL NEW LAMINATED SAFETY GLASS FIXED PANNELS
N35	PROVIDE MAG-LOCK AND ROAM ALARM UPGRADE TO EXISTING DOUBLE DOORS



3 Floor Plan (Construction) - Nurse Station  
1: 50

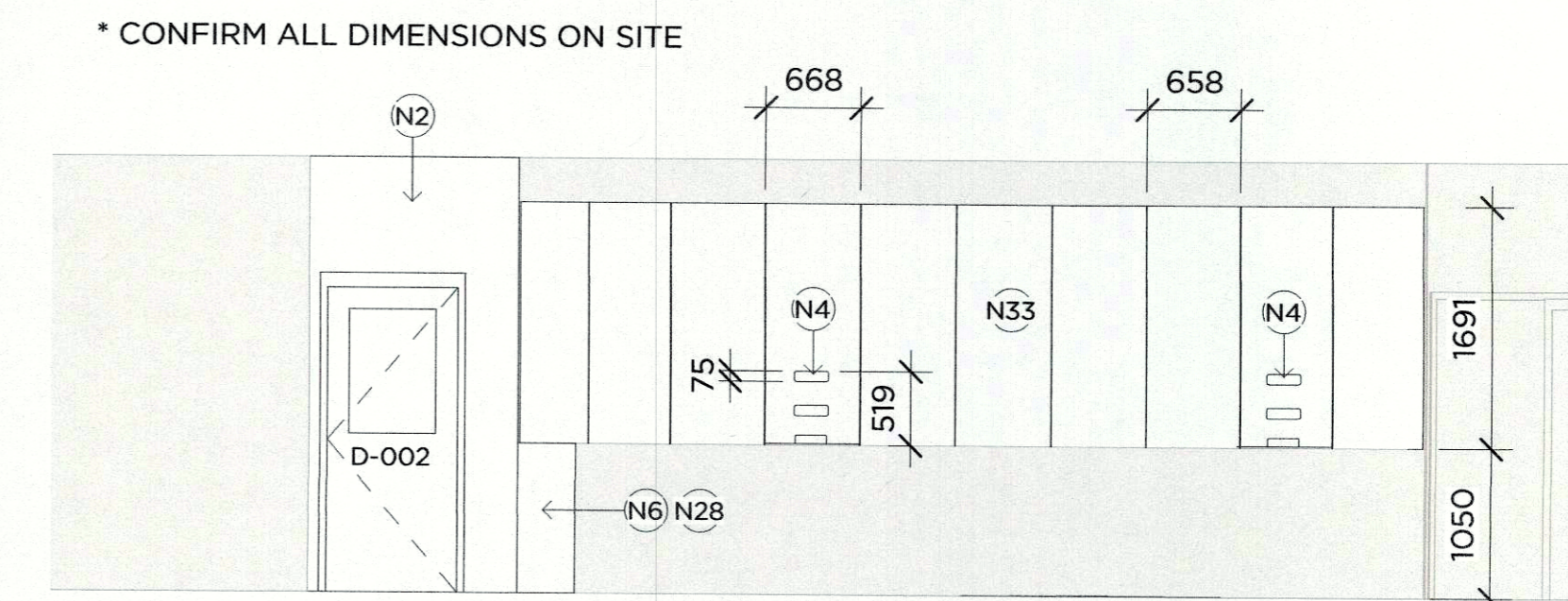
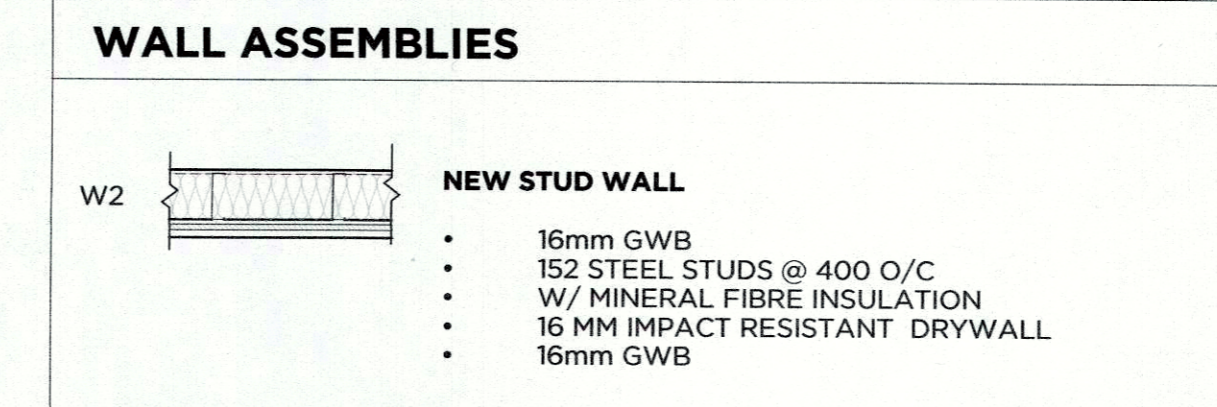
Door Schedule Nurses Station									
Mark	Width	Height	Thickness	Type Mark	Door Material	Glazing	Frame Material	Hardware Set	Comments
D-002	914	2134	44	A	HM	LG	SF	1	W/ CARD ACCESS PROGRAMMED FOR AUTOMATIC OPENING. CLOSER

DOOR ABBREVIATIONS			
STL	STEEL DETENTION DOOR	PSDF	PRESSED STEEL DETENTION FRAME
HM	HOLLOW METAL	SG	SECURITY GLAZING PANEL AS SPEC'D
SF	STEEL FRAME	LG	LAMINATED SAFETY GLASS
E	EXISTING		



ROOM FINISH SCHEDULE - NURSES STATION					
Name	Number	Floor Base Finish	Floor Finish	Wall Finish	Ceiling Finish
NURSES STATION	100	EXIST/P	EXIST/P	PLY/GWB	EXIST/P

FINISH ABBREVIATIONS			
EXIST	EXISTING	PT	PAINT
P	PATCH AND MAKE GOOD	RSF	RESILIENT SHEET FLOORING
PLY	3/4" PLYWOOD SHEATHING	GWB	GYPSUM BOARD W/ EPOXY PAINT AND PICK RESISTANT CAULKING
PD	SOFT WALL PADDING AS SPECIFIED		



4 Nurses Station Pass-Thru Elevation  
1: 50



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REVISIONS

No.	Date	Description
01	2019-04-16	SD REVIEW
02	2019-06-21	50% REVIEW
03	2019-07-12	95% REVIEW
04	2019-08-06	95% REVIEW
05	2019-12-05	TENDER
06	2020-01-29	BP
07	2020-02-25	IFC

BDH SECURE ROOM  
# 6319003 &  
BDH SECURITY  
UPGRADE  
# 6320003

ADDRESS  
7649 22ND Street  
Grand Forks, BC  
VOH 1H2

PROJECT #  
19021

DATE  
2020-02-25

SHEET  
SECURITY UPGRADE -  
NURSES STATION



REVISIONS

No.	Date	Description
01	2019-04-16	SD REVIEW
02	2019-06-21	50% REVIEW
03	2019-07-12	95% REVIEW
04	2019-08-06	95% REVIEW
05	2019-12-05	TENDER
06	2020-01-29	BP
07	2020-02-25	IFC

**BDH SECURE ROOM # 6319003 & BDH SECURITY UPGRADE # 6320003**

**ADDRESS**  
 7649 22ND Street  
 Grand Forks, BC  
 V0H 1H2

**PROJECT #**  
 19021

**DATE**  
 2020-02-25

**SHEET**  
 SECURITY UPGRADE - RECEPTION

CONSTRUCTION KEY NOTES										
Key Value	Keynote Text									
N31	REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF WORK IN THIS AREA, AND LAYOUTS OF DEVICES AND FIXTURES									
N34	PROVIDE GLAZING UPGRADE TO NEW LAMINATED SAFETY GLASS FIXED PANELS WITH CUT-OUTS FOR PASS-THRU AND SPEAKING PORTS									
N36	PROVIDE CARD ACCESS TO EXISTING DOOR									

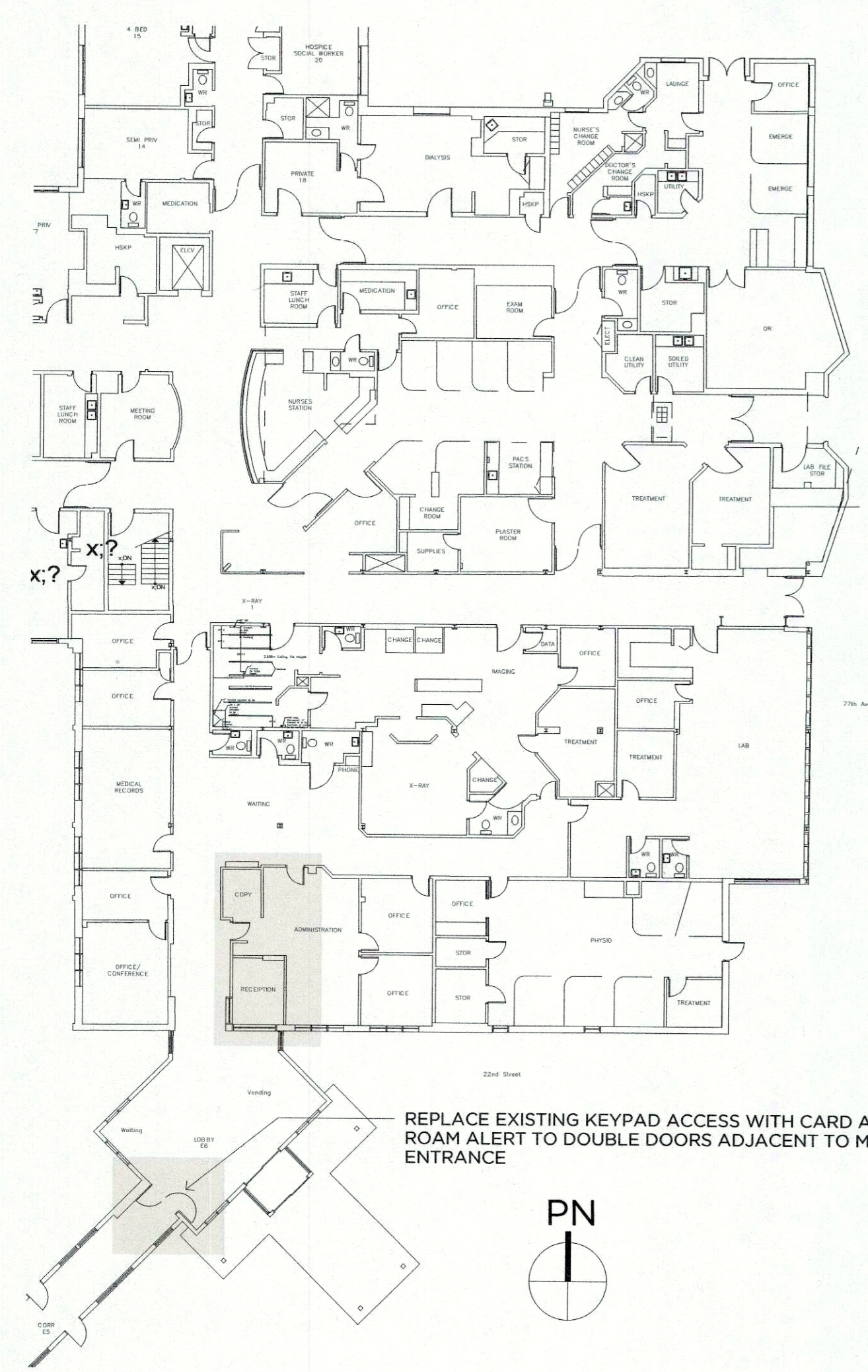
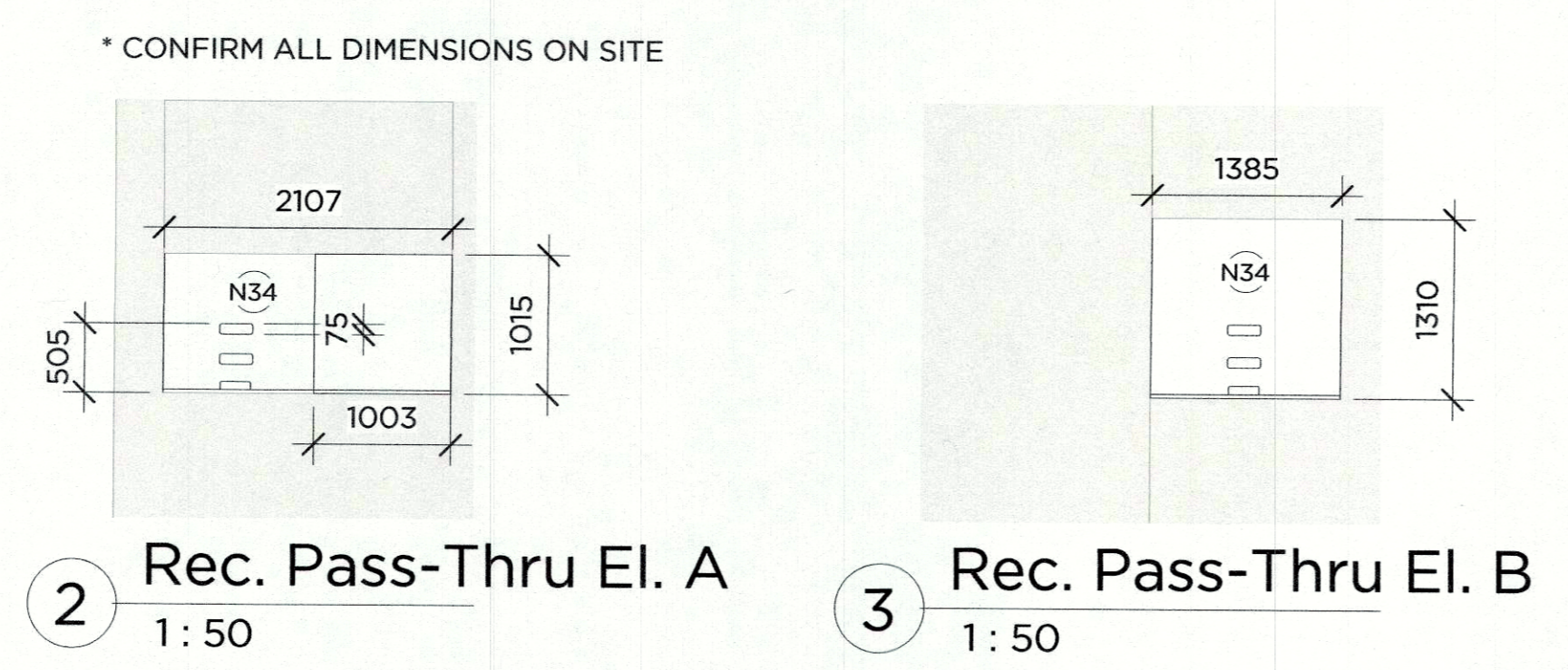
  

Door Schedule Reception										
Mark	Width	Height	Thickness	Type Mark	Door Material	Glazing	Frame Material	Hardware Set	Comments	
D-003	2245	2100	44	E	E	E	E	2	MAG-LOCK AND ROAM ALERT UPGRADE	
D-004	875	2032	51	B	E	E	E	3	CARD ACCESS	
D-005	875	2032	51	B	E	E	E	4	CARD ACCESS	

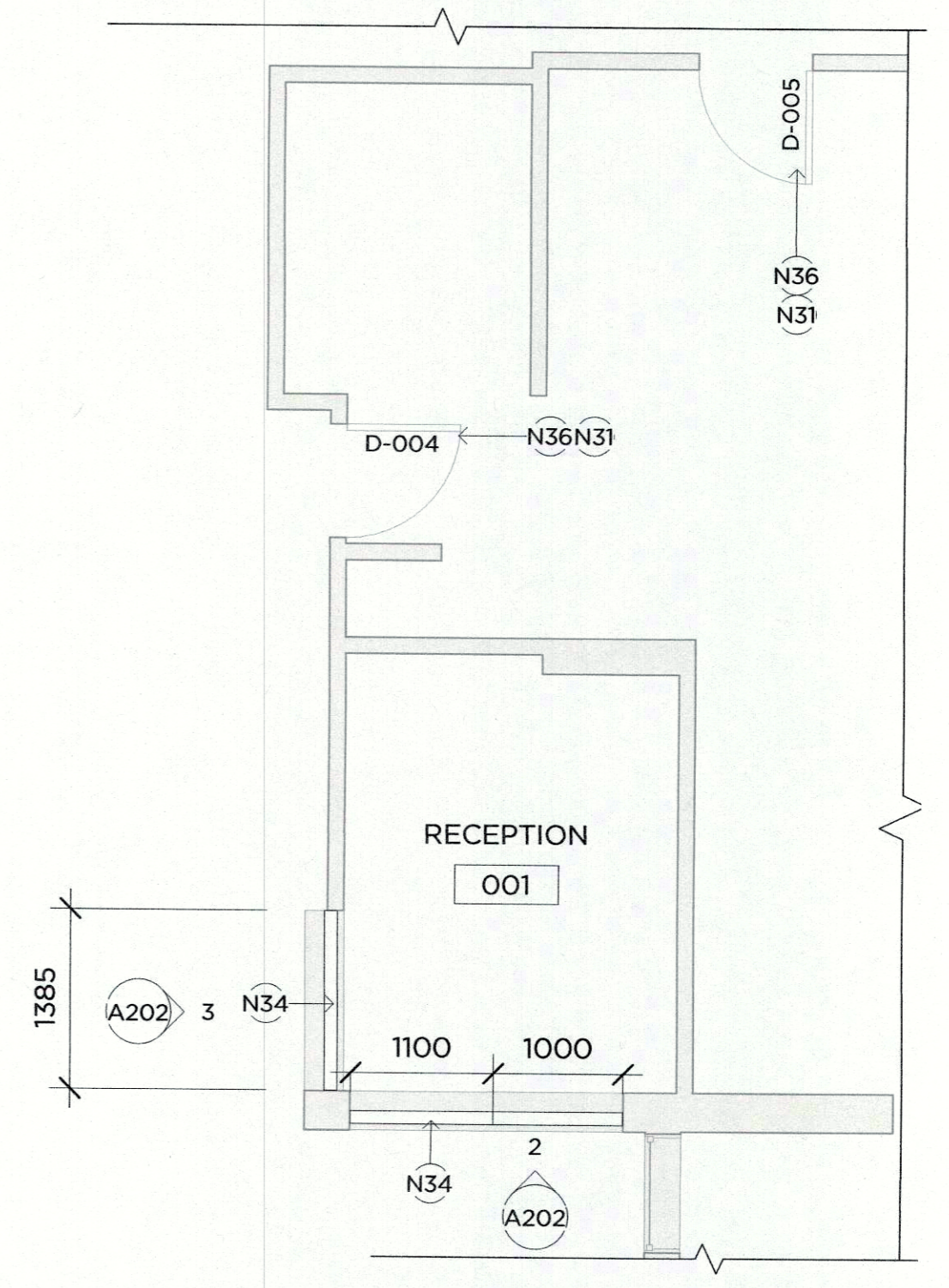
\* REPLACE EXISTING KEYPAD ACCESS WITH CARD ACCESS AND ROAM ALERT TO DOUBLE DOORS ADJACENT TO MAIN ENTRANCE

**DOOR ABBREVIATIONS**

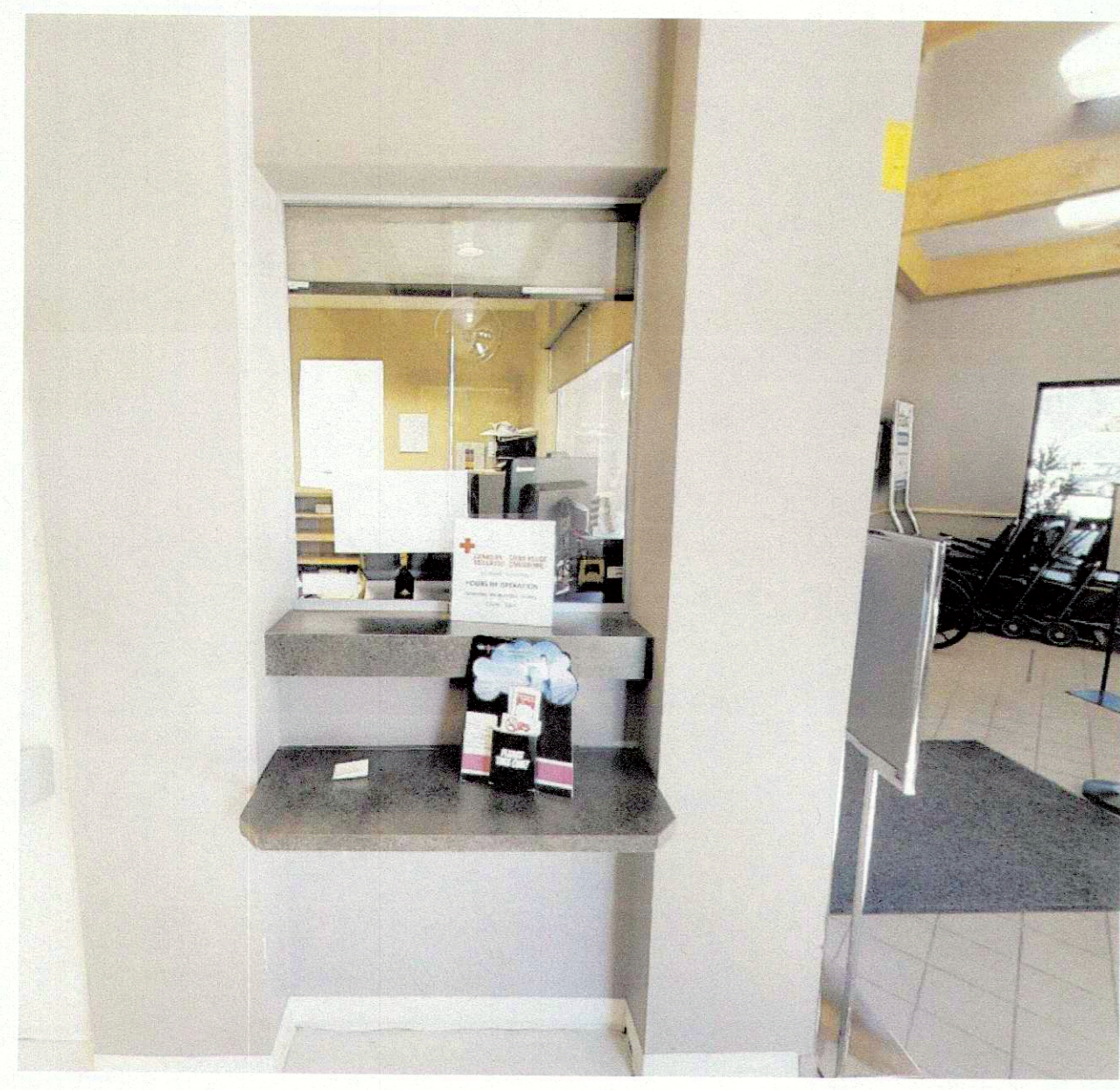
STL	STEEL DETENTION DOOR	PSDF	PRESSED STEEL DETENTION FRAME
HM	HOLLOW METAL	SG	SECURITY GLAZING PANEL AS SPEC'D
SF	STEEL FRAME	LG	LAMINATED SAFETY GLASS
E	EXISTING		



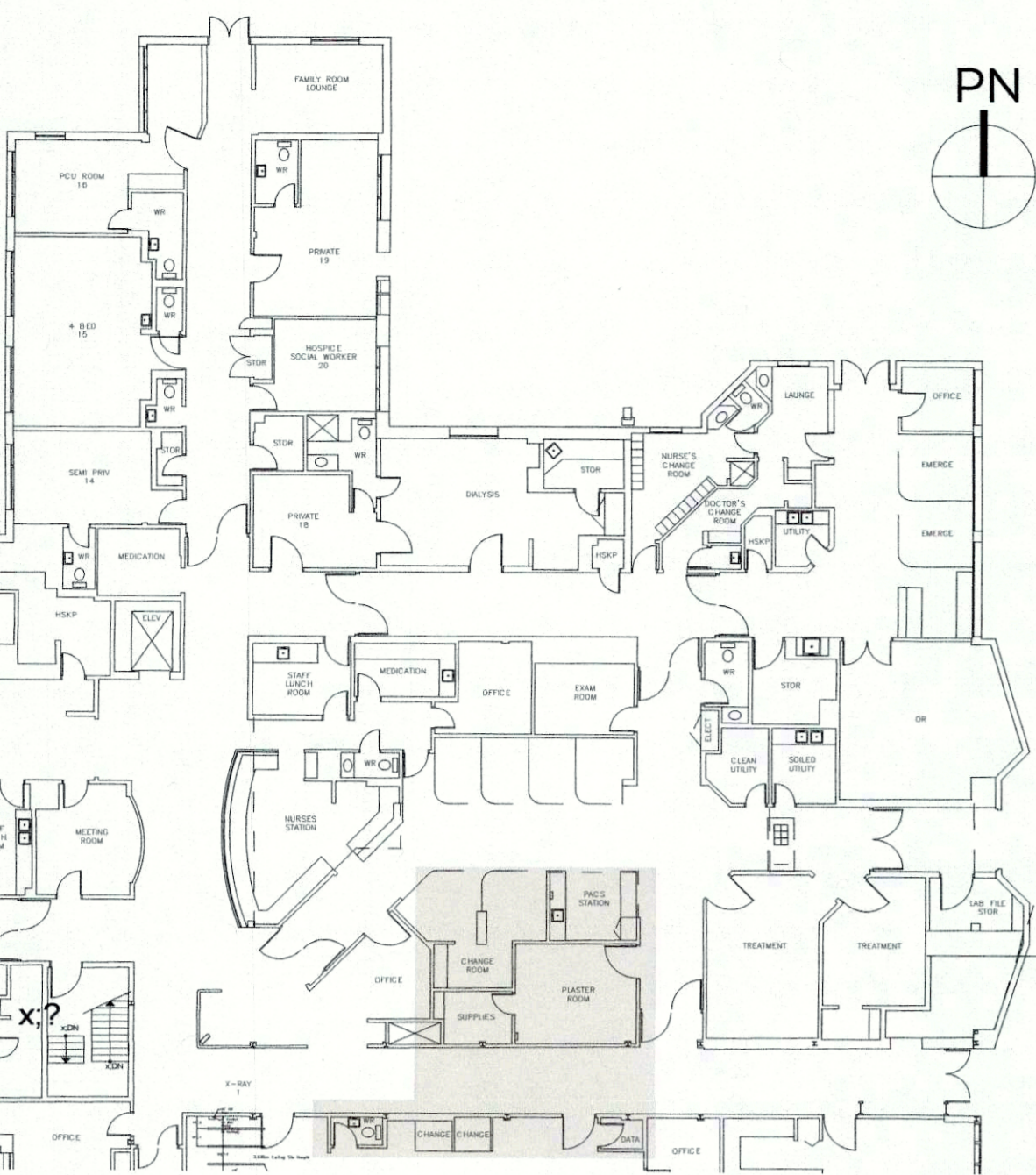
**1 Key Plan - ED SECURITY UPGRADE - RECEPTION**  
 1: 250



**4 Floor Plan (Construction) - MAIN REGISTRATION**  
 1: 50

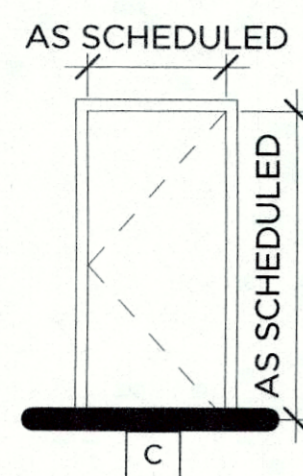






Key Plan - ED Treatment Room  
Scale: 1:250

DEMOLITION KEYNOTES	
Key Value	Keynote Text
D3	REMOVE WALL CABINET
D4	REMOVE BASE CABINET AND COUNTER
D5	PATIENT LIFT TO REMAIN
D6	REMOVE CURTAIN TRACK
D7	REMOVE BASE CABINET AND SHELVES
D8	BEDHEAD TO REMAIN
D9	REMOVE CRUTCHES HOOKS
D10	REMOVE ALL SHELVING AND COUNTER
D11	SINK TO REMAIN
D13	REMOVE EXISTING DOOR AND FRAME
D14	ENLARGE DOOR OPENING
D21	REMOVE EXISTING SINK
D28	END OF COUNTER TO BE DEMOLISHED (PART OF ALTERNATE PRICE 01)



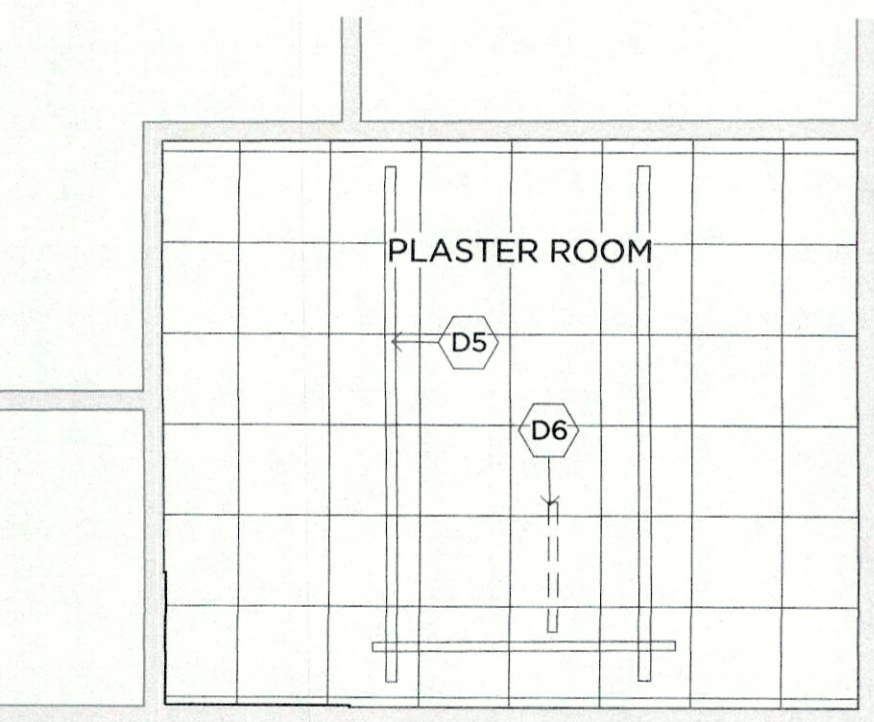
CONSTRUCTION KEYNOTES	
Key Value	Keynote Text
N1	NEW DOOR TO BE INSTALLED
N7	INSTALL CEILING EQUIPMENT THAT WAS REMOVED FROM PREVIOUS TREATMENT RM
N8	INSTALL MONITOR AND KEYBOARD RACK, WALL MOUNTED
N9	FILE ORGANIZERS TO BE MOUNTED ON WALL
N10	INSTALL NEW TOILET AS SPECIFIED
N11	INSTALL NEW VANITY
N12	INSTALL NEW HAND HYGIENE STATION, REPAIR GABLE END AND MATCH FINISH WITH EXISTING PLASTIC LAMINATE. REPAIR DAMAGED WALL AND FLOORING AS A RESULT OF THE DEMOLITION (PART OF ALTERNATE PRICE 01)
N15	INSTALL NEW HAND HYGIENE STATION
N25	ADD A PLASTER TRAP TO THE EXISTING SINK
N27	INSTALL NEW WASHROOM ACCESSORIES AS SPECIFIED
N28	PATCH AND MAKE GOOD FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION ACTIVITIES (WALLS, FLOORS, AND CEILINGS)
N29	PROVIDE NEW PAINT FINISH TO WALLS
N30	PATCH AND MAKE GOOD EXISTING FLOORING AFFECTED BY CONSTRUCTION ACTIVITIES
N31	REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF WORK IN THIS AREA, AND LAYOUTS OF DEVICES AND FIXTURES
N37	INSTALL HAND SANITIZER
N39	INSTALL WALL PROTECTION (PART OF ALTERNATE PRICE 01)
N40	INSTALL WALL PROTECTION
N41	SUPPLY AND INSTALL MIRROR AS SPECIFIED

Door Schedule Treatment Room									
Mark	Width	Height	Thickne ss	Type Mark	Door Material	Glazing	Frame Material	Hardware Set	Comments
D-007	915	2032	51	C	STL	-	SF	5	To swing on both sides

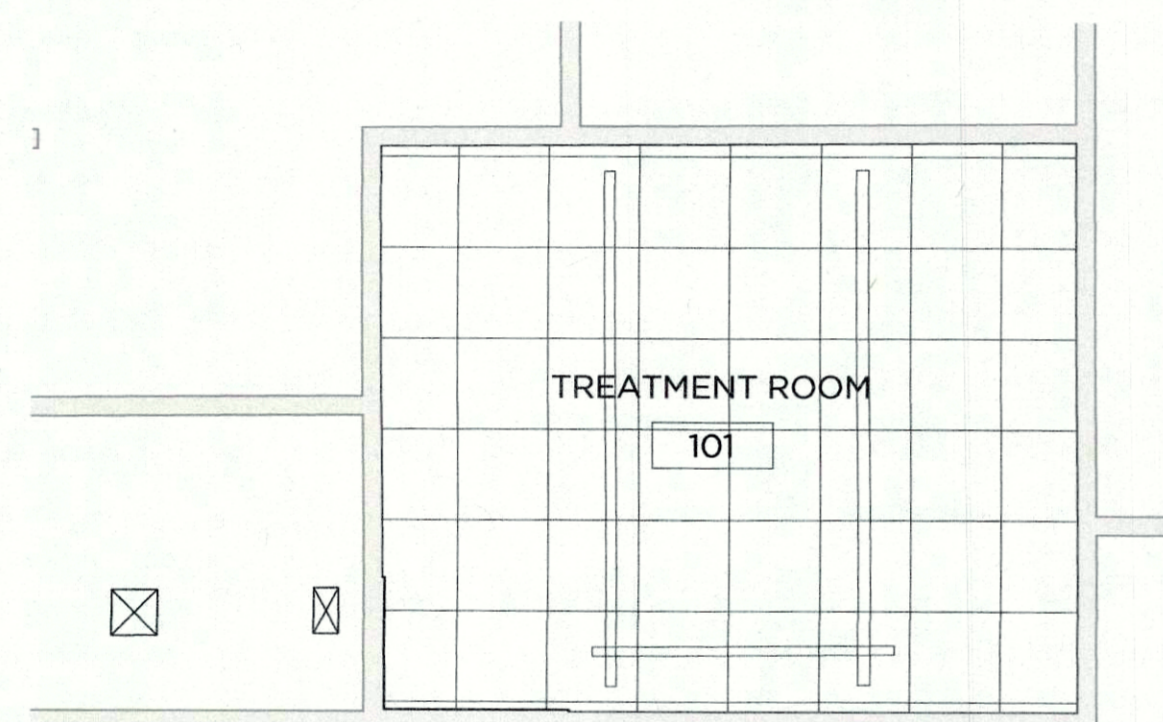
<b>DOOR ABBREVIATIONS</b>		<b>PSDF</b>	<b>PRESSED STEEL DETENTION FRAME</b>
STL	STEEL DETENTION DOOR	SG	SECURITY GLAZING PANEL AS SPEC'D
HM	HOLLOW METAL	LG	LAMINATED SAFETY GLASS
SF	STEEL FRAME		
E	EXISTING		

ROOM FINISH SCHEDULE - TREATMENT RM					
Name	Number	Base Finish	Floor Finish	Wall Finish	Ceiling Finish
TREATMENT ROOM	101	EXIST/P	EXIST/P	PLY/GWB	EXIST/P
WC	101A	EXIST/P	EXIST/P	PLY/GWB	EXIST/P

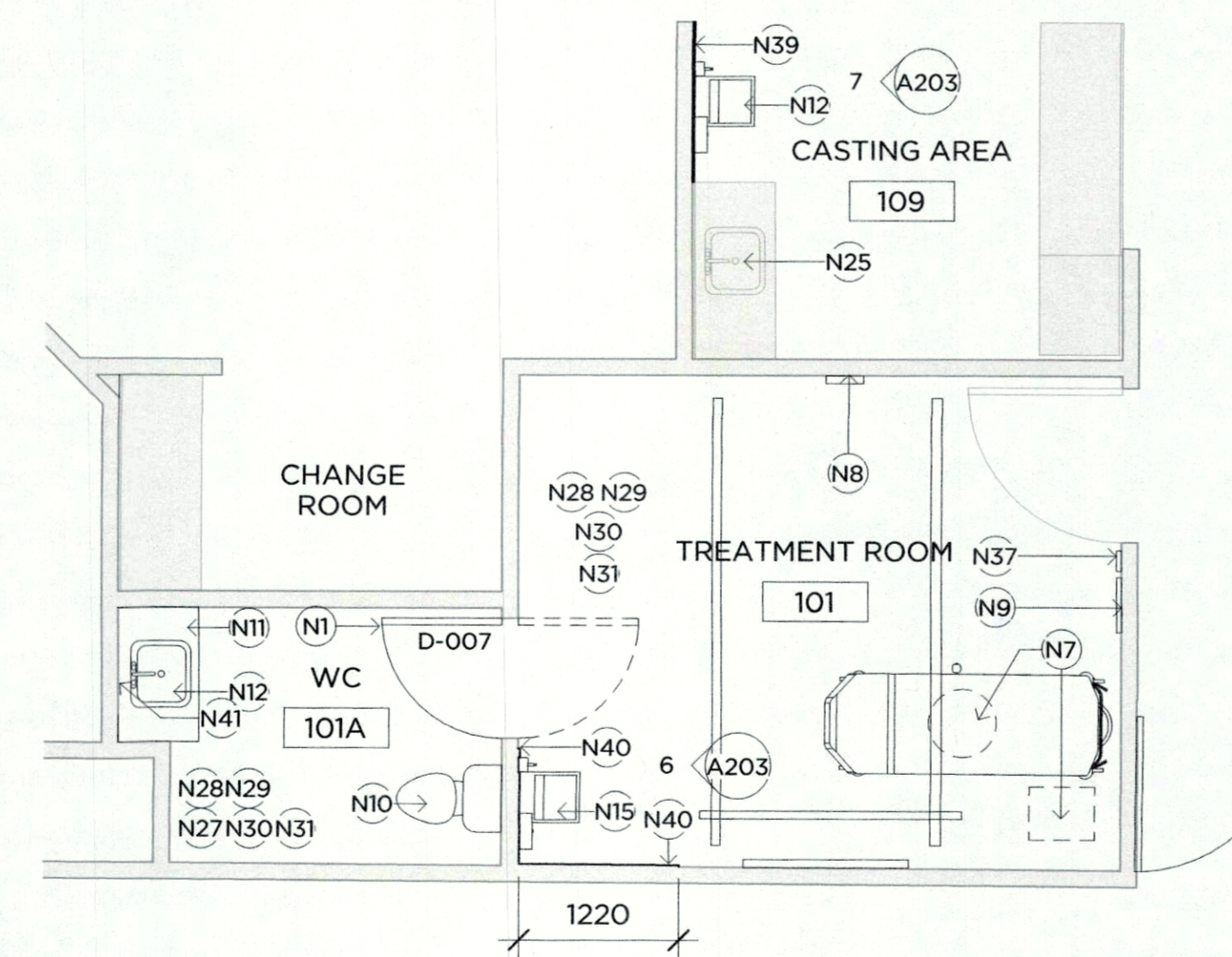
<b>FINISH ABBREVIATIONS</b>		<b>PT</b>	<b>PAINT</b>
EXIST	EXISTING	RSF	RESILIENT SHEET FLOORING
P	PATCH AND MAKE GOOD	GWB	GYPSUM BOARD W/ EPOXY PAINT AND PICK RESISTANT CAULKING
PLY	3/4" PLYWOOD SHEATHING		
PD	SOFT WALL PADDING AS SPECIFIED		



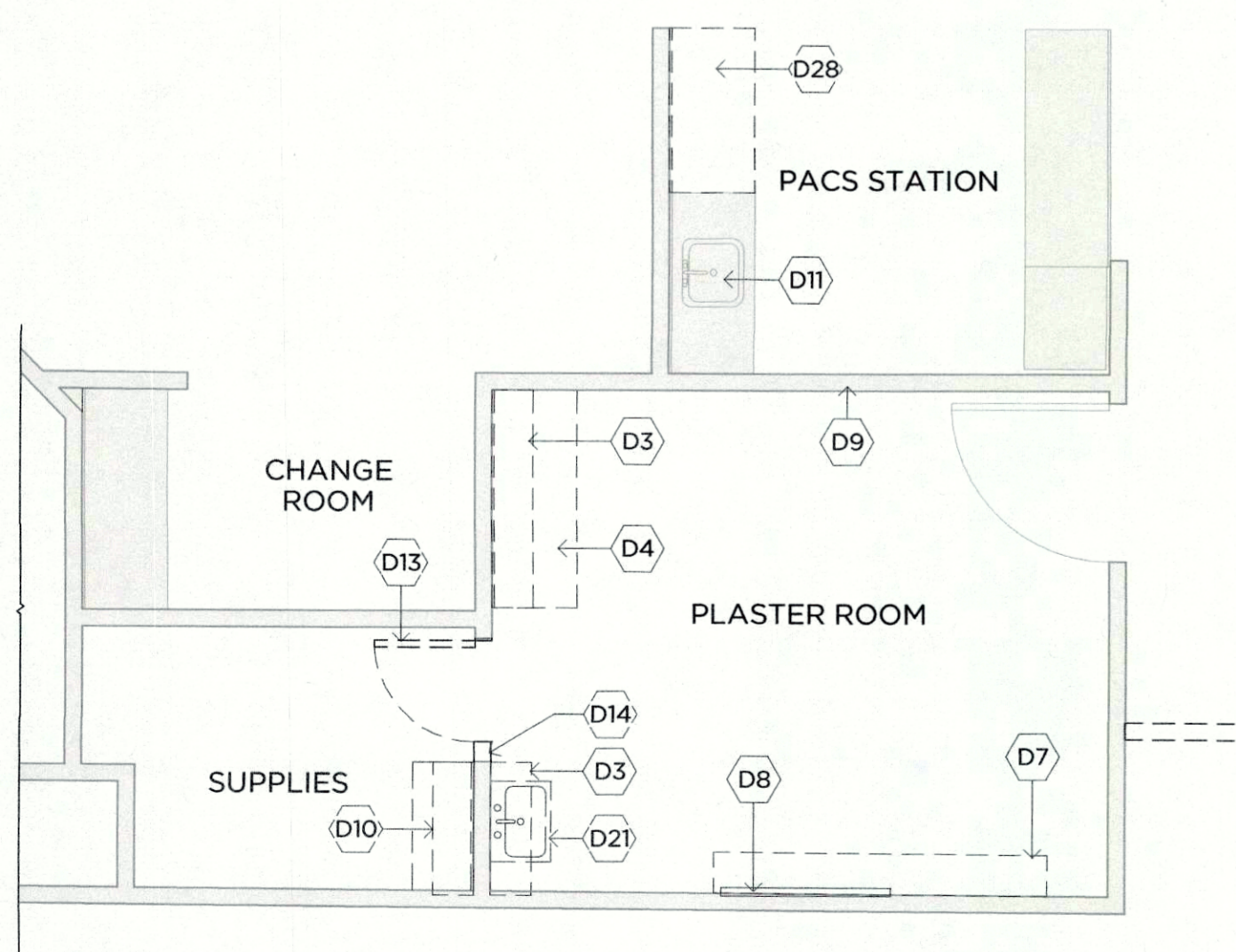
RCP (Demo.) - Treatment Room  
Scale: 1:50



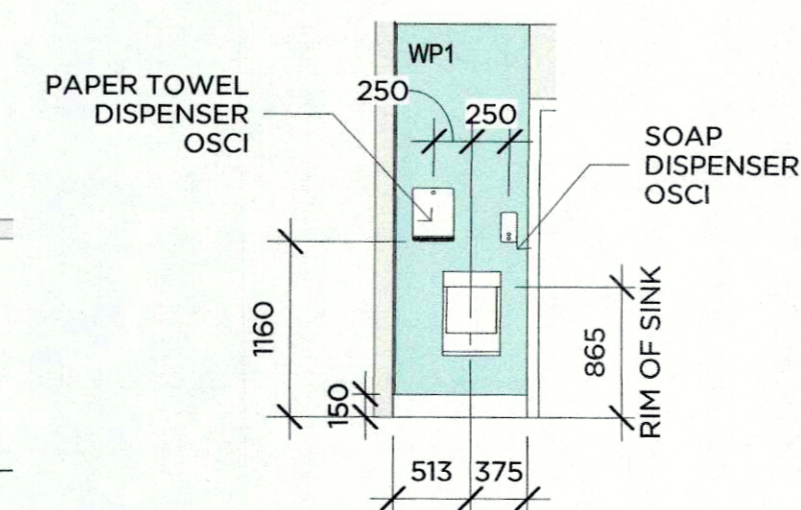
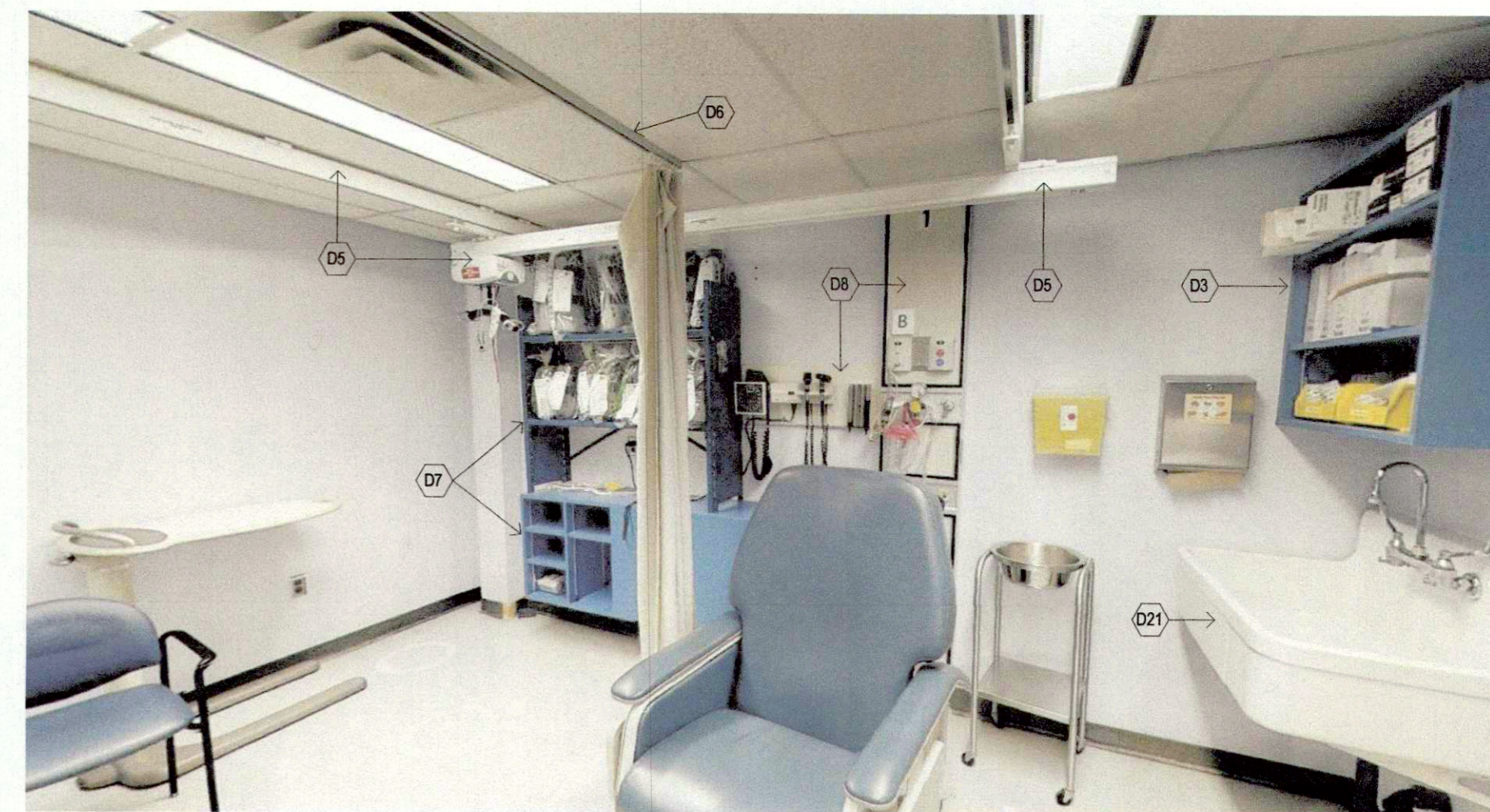
RCP (Const.) - Treatment Room  
Scale: 1:50



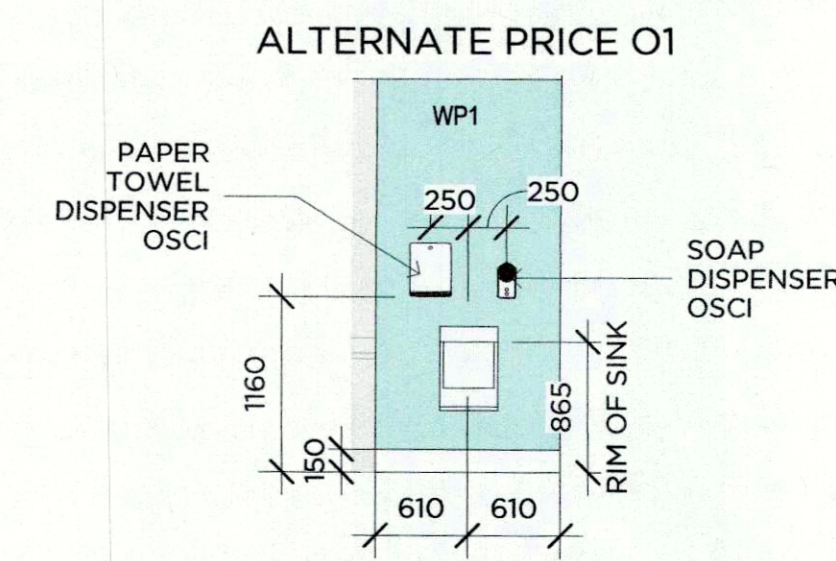
Floor Plan (Construction) - Treatment Room  
Scale: 1:50



Floor Plan (Demolition) - Treatment Room  
Scale: 1:50



HHS TREATMENT ROOM  
Scale: 1:50



HHS - CASTING AREA  
Scale: 1:50



ARCHITECTURE

5 - 320 Vernon Street  
Nelson BC  
V1L 4E4

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BDH SECURE ROOM  
# 6319003 &  
BDH SECURITY  
UPGRADE  
# 6320003

ADDRESS

7649 22ND Street  
Grand Forks, BC  
VOH 1H2

PROJECT #

19021

DATE

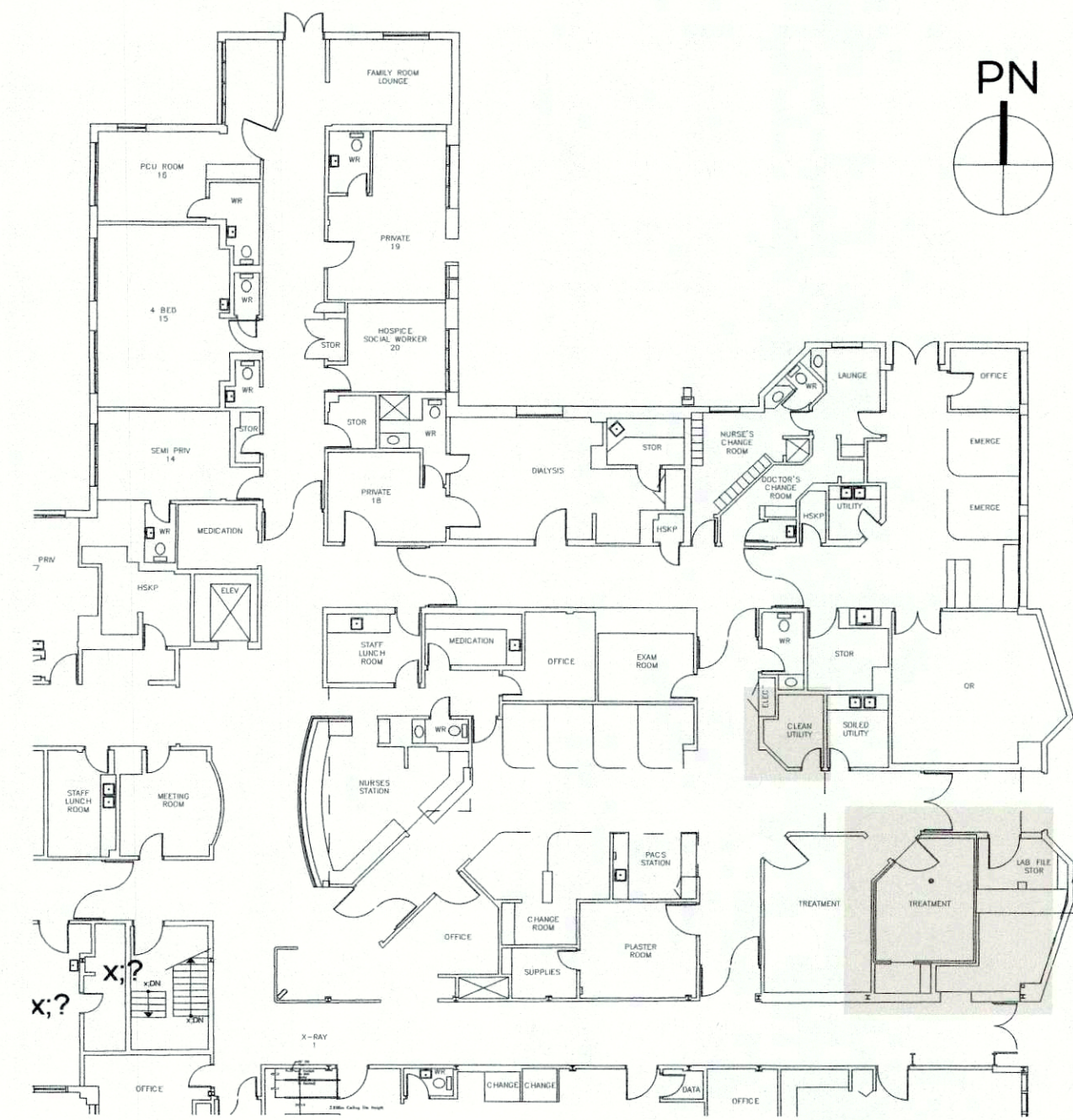
2020-02-25

SHEET

TREATMENT ROOM

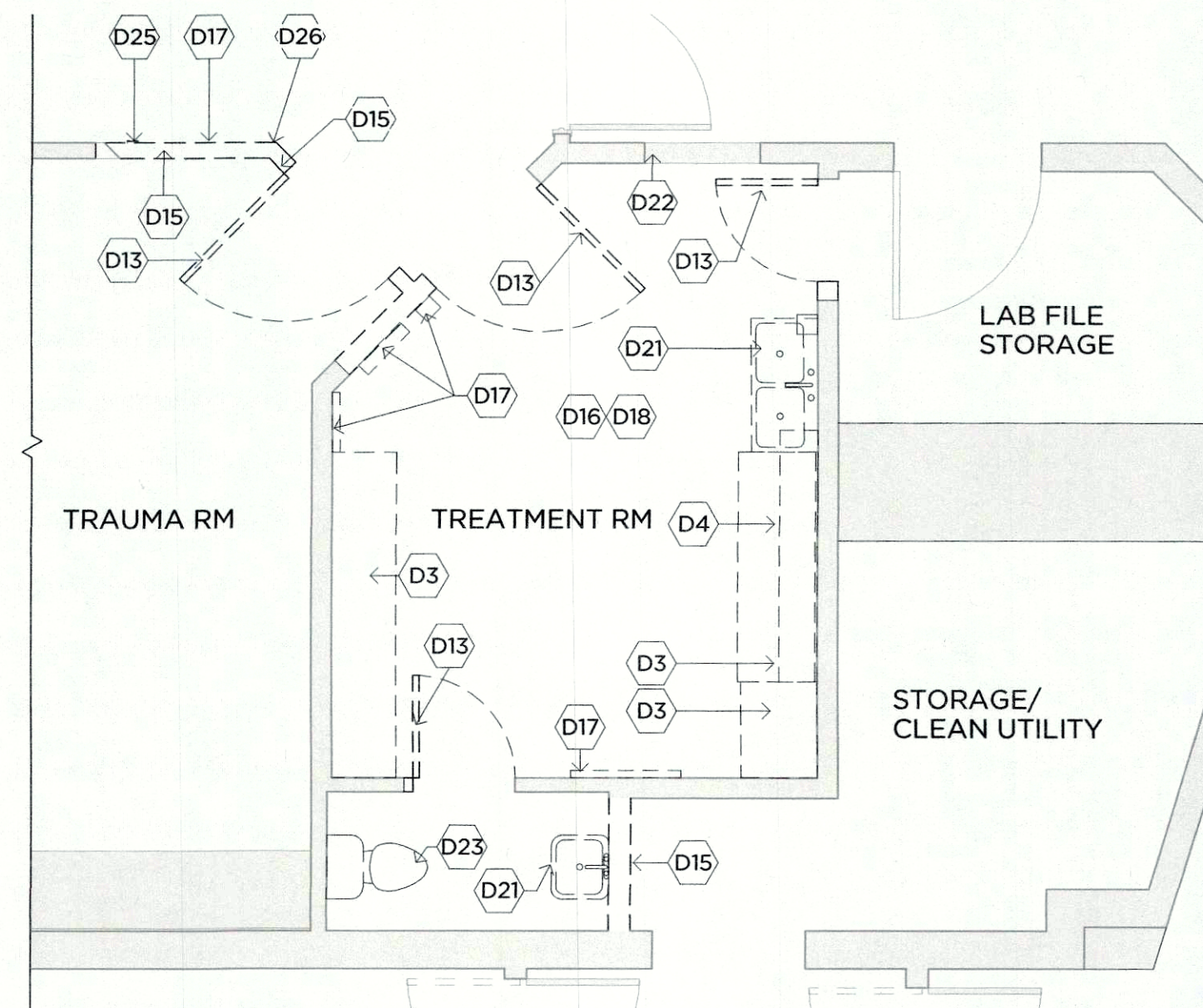
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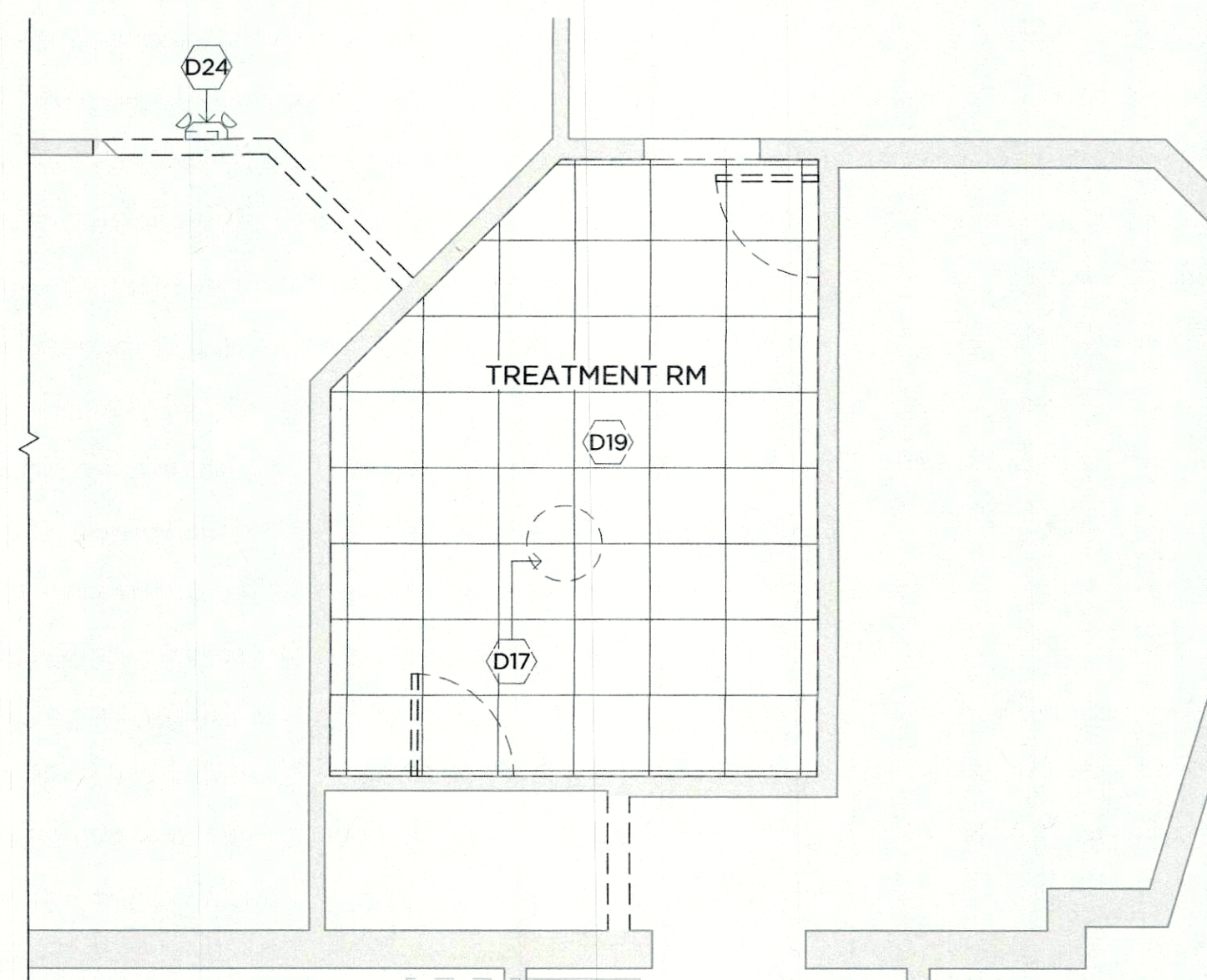
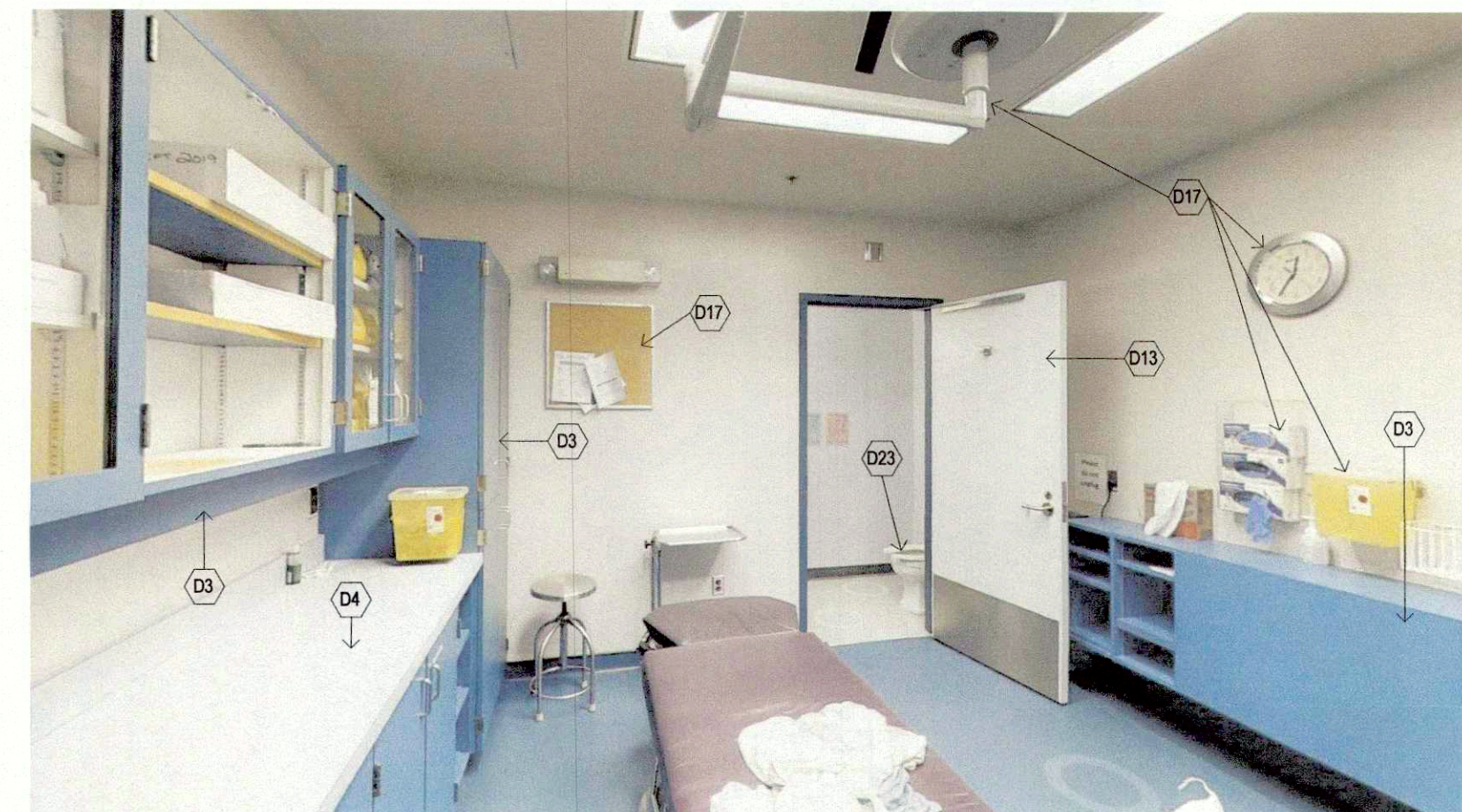


1 Key Plan - ED Secure Room  
1: 250

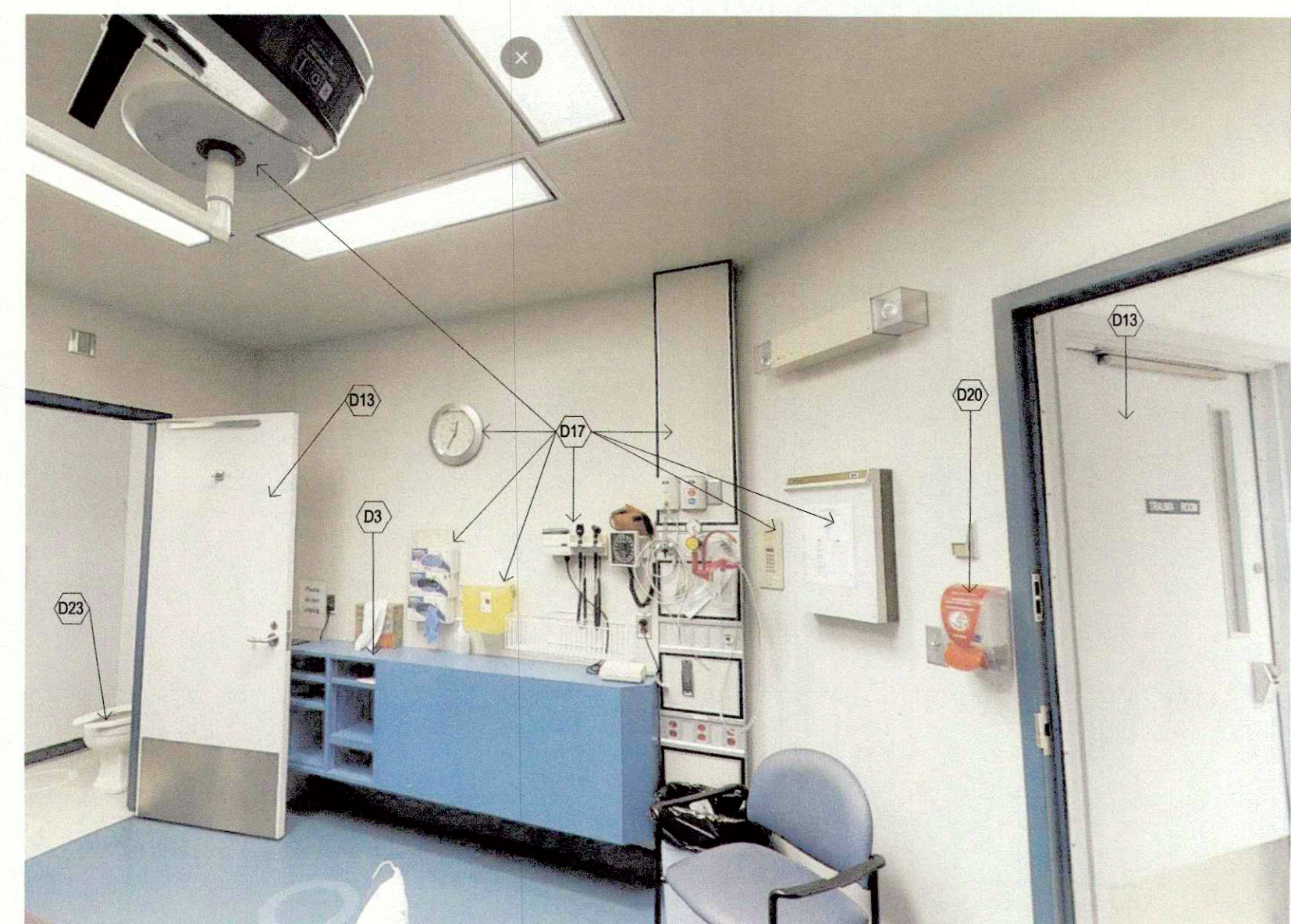
DEMOLITION KEYNOTES	
Key Value	Keynote Text
D3	REMOVE WALL CABINET
D4	REMOVE BASE CABINET AND COUNTER
D13	REMOVE EXISTING DOOR AND FRAME
D15	REMOVE EXISTING WALL AND FINISHES
D16	DEMOLISH EXISTING DRYWALL
D17	EXISTING FURNITURE AND EQUIPMENT TO BE REMOVED BY OWNER PRIOR TO DEMOLITION
D18	REMOVE EXISTING RESILIENT SHEET FLOORING AND BASE
D19	REMOVE EXISTING ACOUSTICAL CEILING TILE AND GRID
D21	REMOVE EXISTING SINK
D22	REMOVE EXISTING GLAZING
D23	REMOVE EXISTING TOILET
D24	MOVE FIRE ALARM AND EMERGENCY LIGHTING FURTHER TO ALLOW FOR WALL REMOVAL
D25	MOVE KEYPAD AND PUSH BUTTON FURTHER TO ALLOW FOR WALL REMOVAL
D26	REMOVE CORNER GUARD



2 Floor Plan (Demo.) - Secure Room  
1: 50



3 RCP (Demo.) - Secure Room  
1: 50



ARCHITECTURE

5 - 320 Vernon Street  
Nelson BC  
V1L 4E4

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BDH SECURE ROOM  
# 6319003 &  
BDH SECURITY  
UPGRADE  
# 6320003

ADDRESS  
7649 22ND Street  
Grand Forks, BC  
VOH 1H2

PROJECT #

19021

DATE

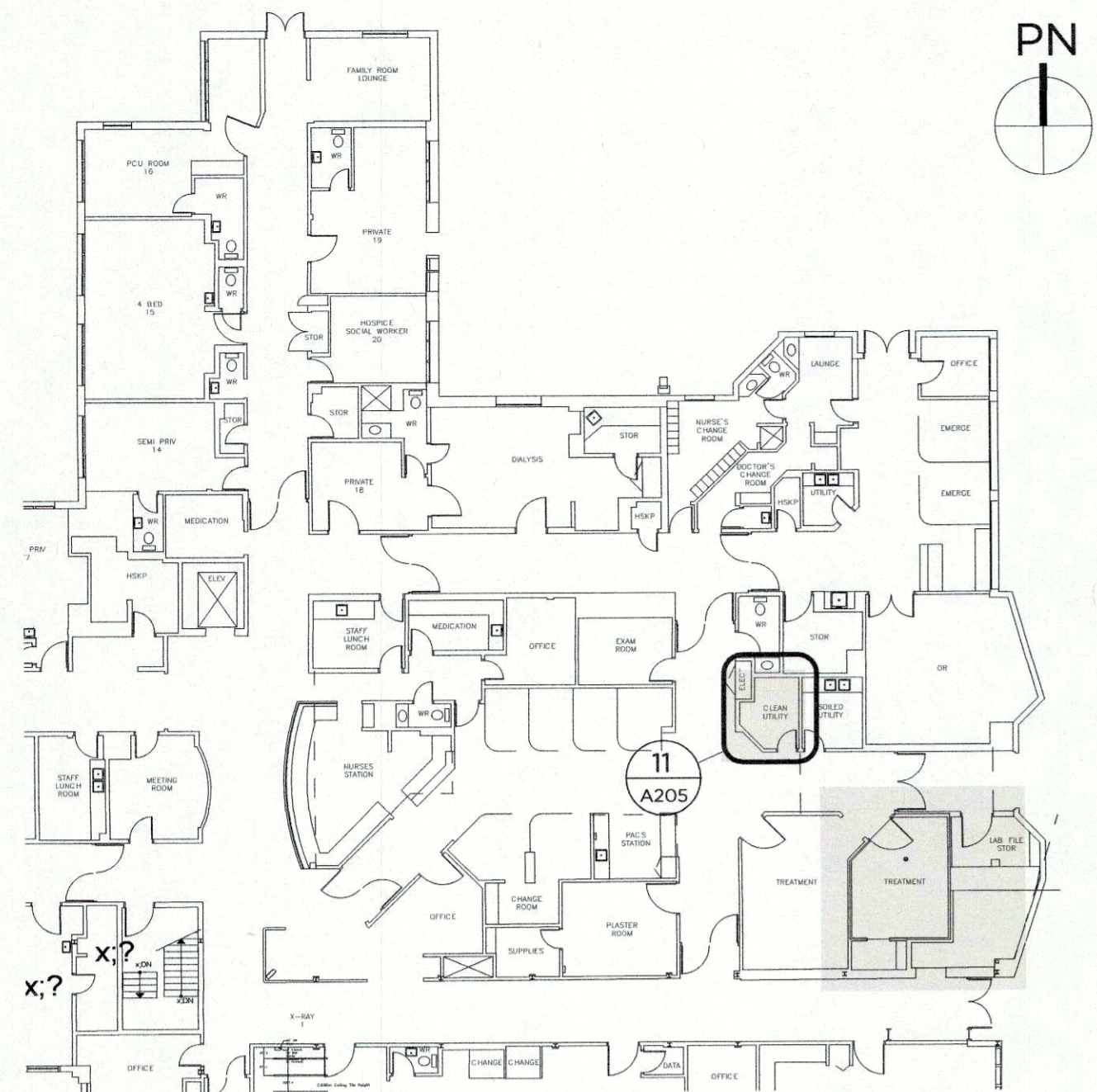
2020-02-25

SHEET

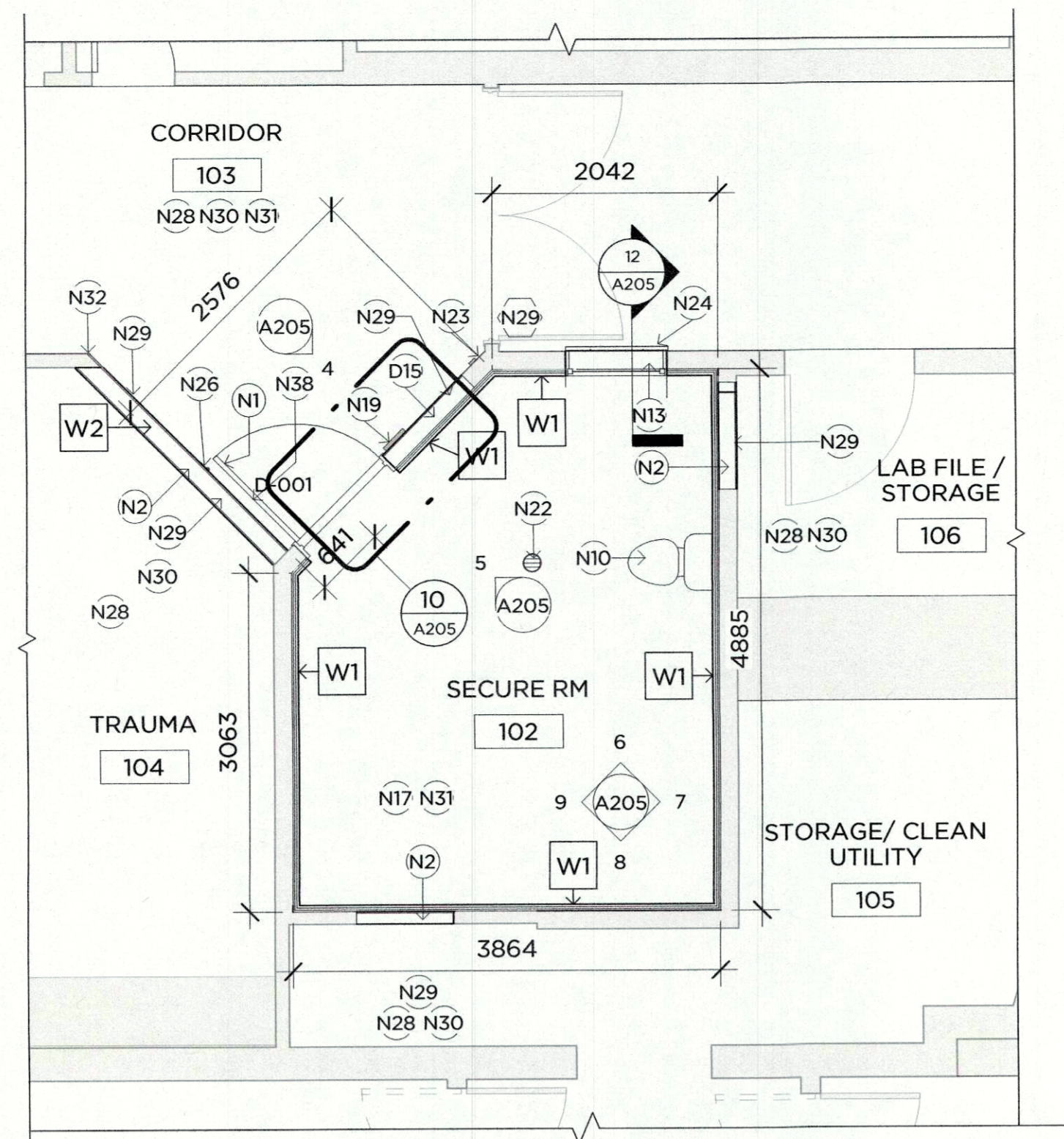
SECURE ROOM -  
DEMOLITION

A204

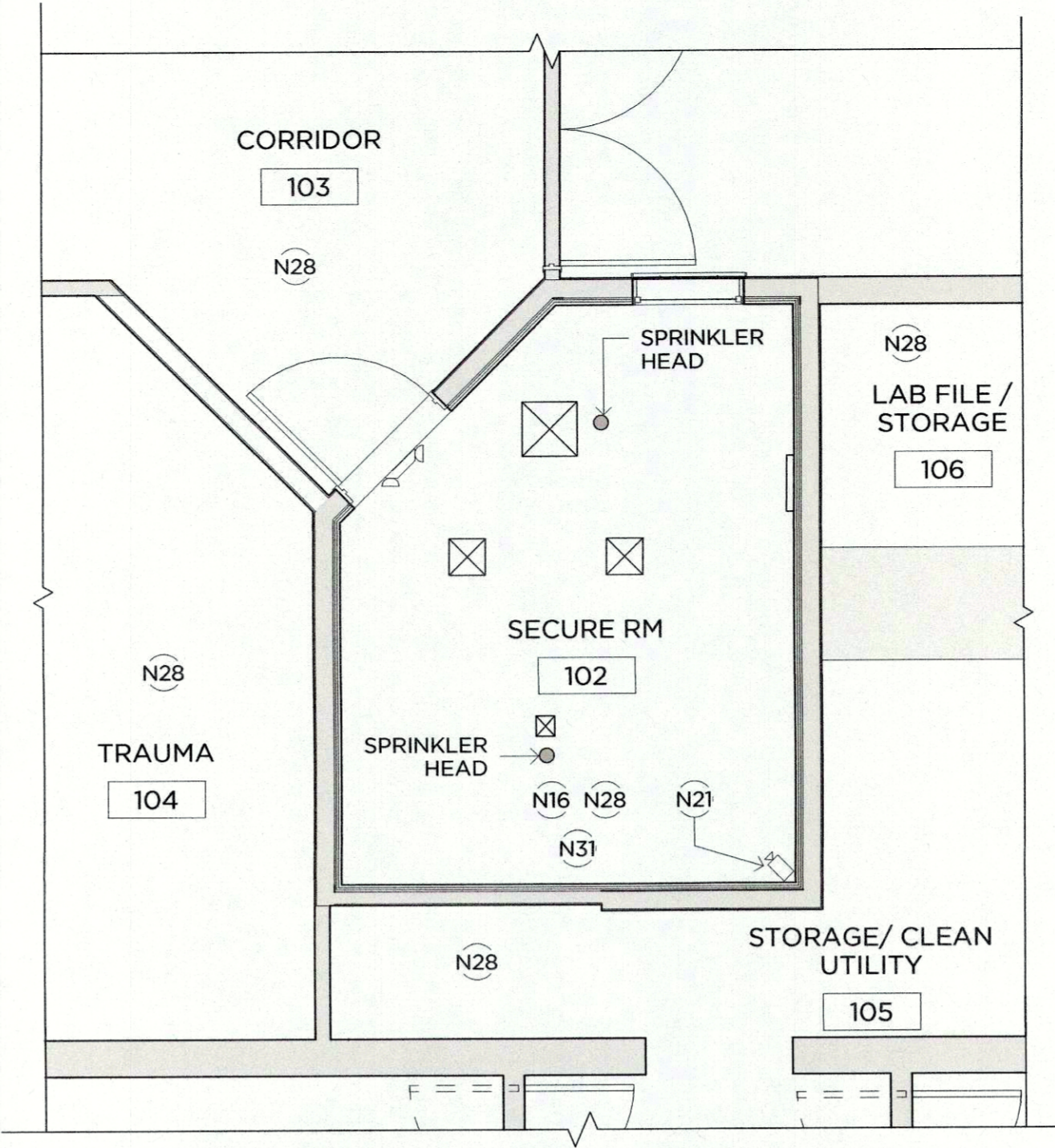




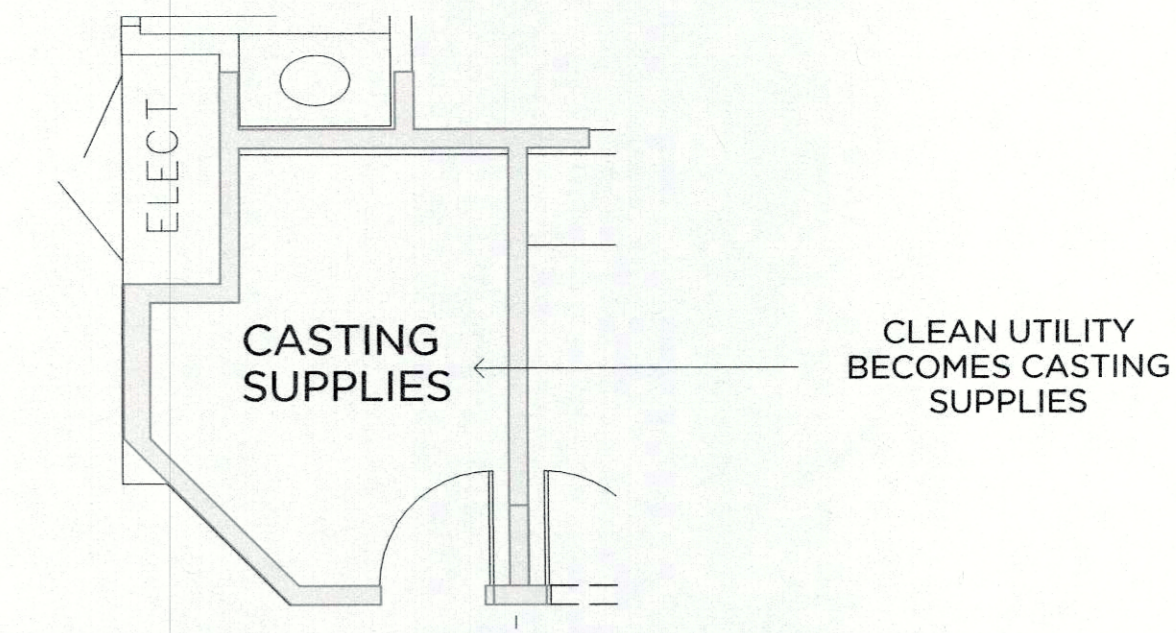
1 Key Plan - ED Secure Room  
1: 250



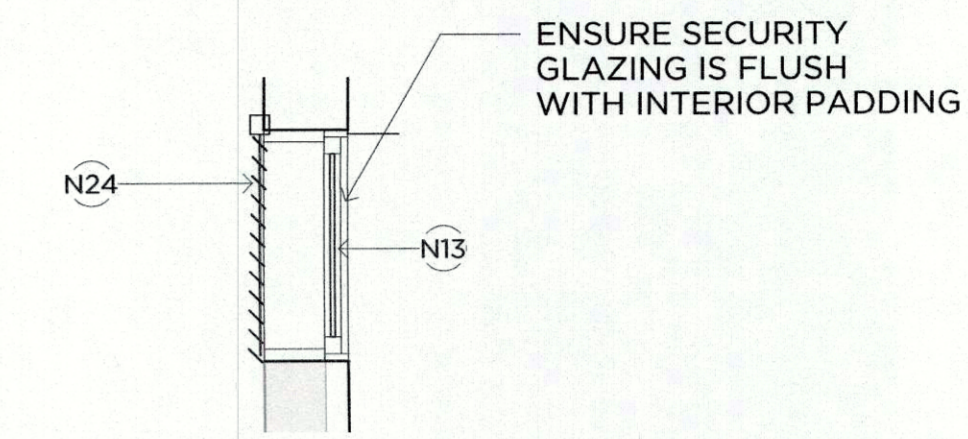
2 Floor Plan (Const.) - Secure Room  
1: 50



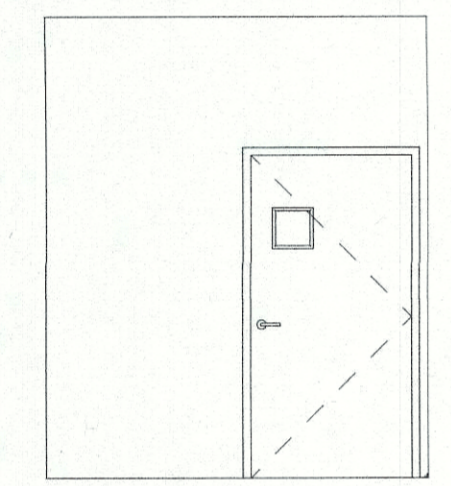
3 RCP (Const.) - Secure Room  
1: 50



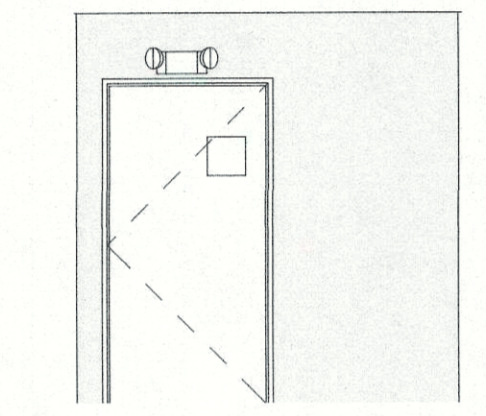
11 Floor Plan - Casting Supplies  
1: 50



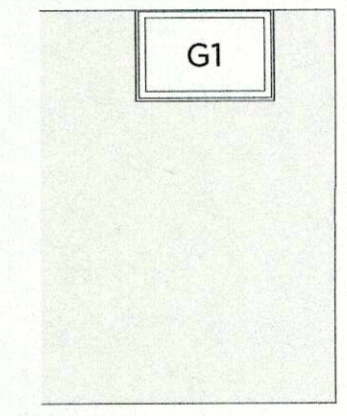
12 SECURE WINDOW DETAIL  
1: 20



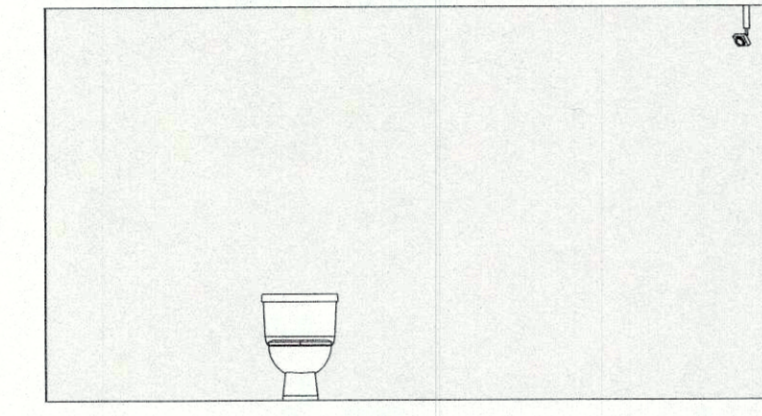
4 Corridor El.  
1: 50



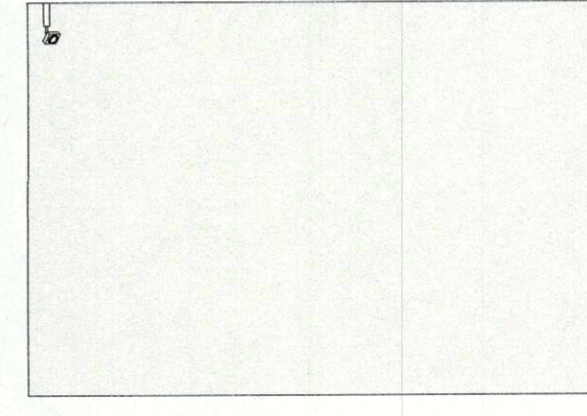
5 Int. El. - a  
1: 50



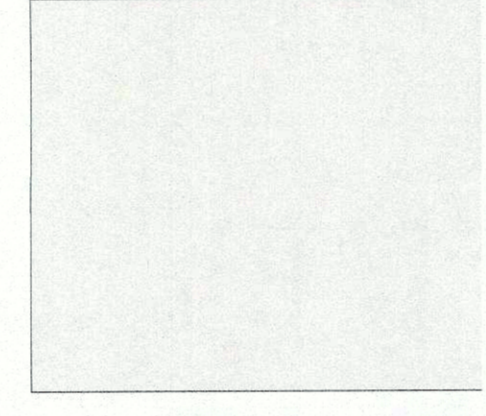
6 Int. El. b  
1: 50



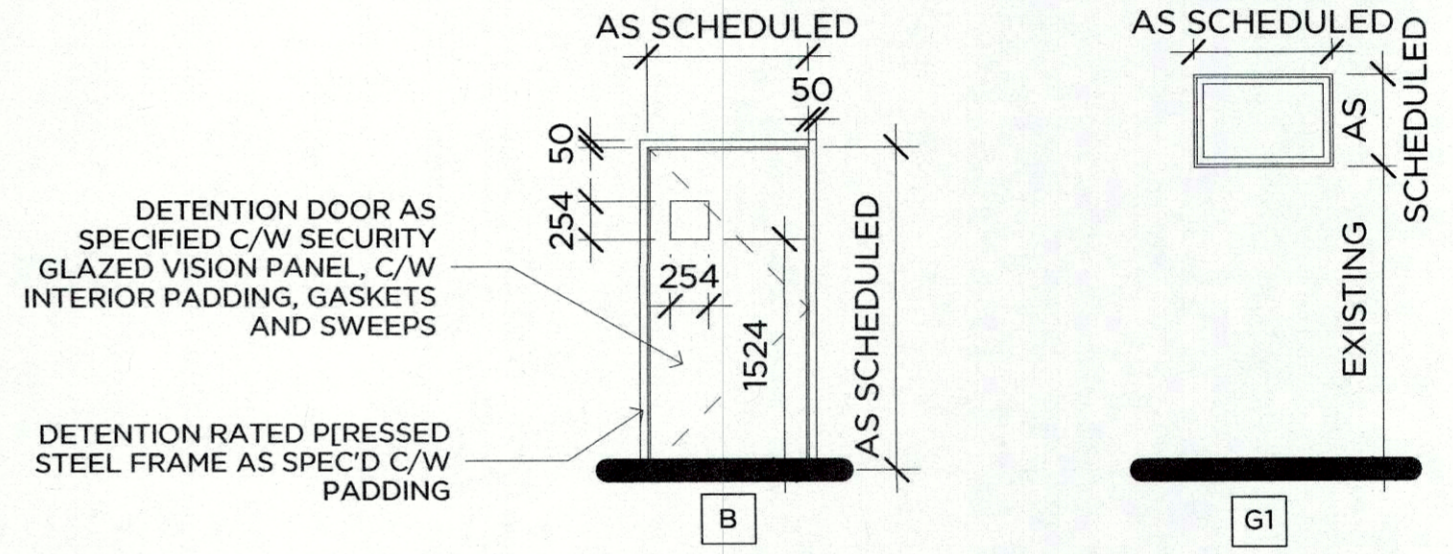
7 Int. El. - c  
1: 50



8 Int. El. - d  
1: 50



9 Int. El. - e  
1: 50



**WALL ASSEMBLIES**

Mark	Description
W1	<b>PADDED WALL</b> • EXISTING GWB • STEEL STUDS TO MATCH EXISTING @ 400 O/C. PROVIDE STEEL STUD BLOCKING AND 12 GA STRAPPING (INTERIOR SIDE) @ 600 O/C FROM FLOOR SLAB TO U/S OF DECK. PROVIDE 300 OFFSET OF STRAPPING AND STEEL STUD BLOCKING. • W/ MINERAL FIBRE INSULATION • EXISTING GWB (16 MM GWB IMPACT RESISTANT ON NEW WALL) • 19 MM PLYWOOD • SOFT WALL PADDING AS SPECIFIED TO U/S OF CEILING
W2	<b>NEW STUD WALL</b> • 16mm GWB • 152 STEEL STUDS @ 400 O/C • W/ MINERAL FIBRE INSULATION • 16mm GWB

**CEILING ASSEMBLY**

Mark	Description
C1	<b>C1 - SECLUSION RM CEILING</b> • EXISTING STRUCTURE • 152mm STEEL STUDS @ 300 O.C. C/W 1 ROW OF STEEL STUD BLOCKING • 19mm PLYWOOD • 16mm IMPACT RESISTANT GWB

**ROOM FINISH SCHEDULE - SECURE RM**

Name	Number	Base Finish	Floor Finish	Wall Finish	Ceiling Finish
CORRIDOR	103	EXIST/P	EXIST/P	PLY/GWB	EXIST/P
LAB FILE / STORAGE	106	EXIST/P	EXIST/P	PLY/GWB	EXIST/P
SECURE RM	102	-	RSF	PLY/PD	GWB
STORAGE/ CLEAN UTILITY	105	EXIST/P	EXIST/P	PLY/GWB	EXIST/P
TRAUMA	104	EXIST/P	EXIST/P	PLY/GWB	EXIST/P

**FINISH ABBREVIATIONS**

EXIST	EXISTING	PT	PAINT
P	PATCH AND MAKE GOOD	RSF	RESILIENT SHEET FLOORING
PLY	3/4" PLYWOOD SHEATHING	GWB	GYPSON BOARD W/ EPOXY PAINT AND PICK RESISTANT CAULKING
PD	SOFT WALL PADDING AS SPECIFIED		

**Door Schedule Secure Room**

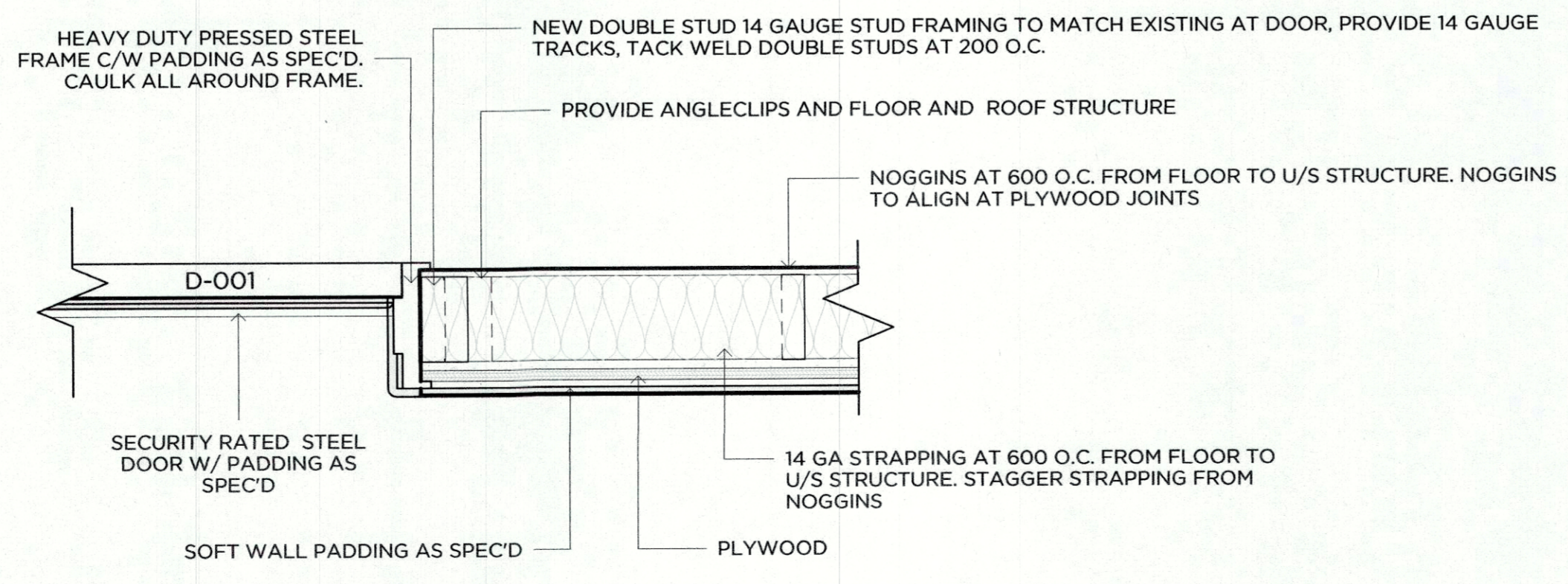
Mark	Width	Height	Thickness	Type Mark	Door Material	Glazing	Frame Material	Hardware Set	Comments
D-001	1067	2134	44	B	STL	SG	PSDF	7	W/ Door limiting device to control swing

**DOOR ABBREVIATIONS**

STL	STEEL DETENTION DOOR	PSDF	PRESSED STEEL DETENTION FRAME
HM	HOLLOW METAL	SG	SECURITY GLAZING PANEL AS SPEC'D
SF	STEEL FRAME	LG	LAMINATED SAFETY GLASS
E	EXISTING		

**CONSTRUCTION KEY NOTES**

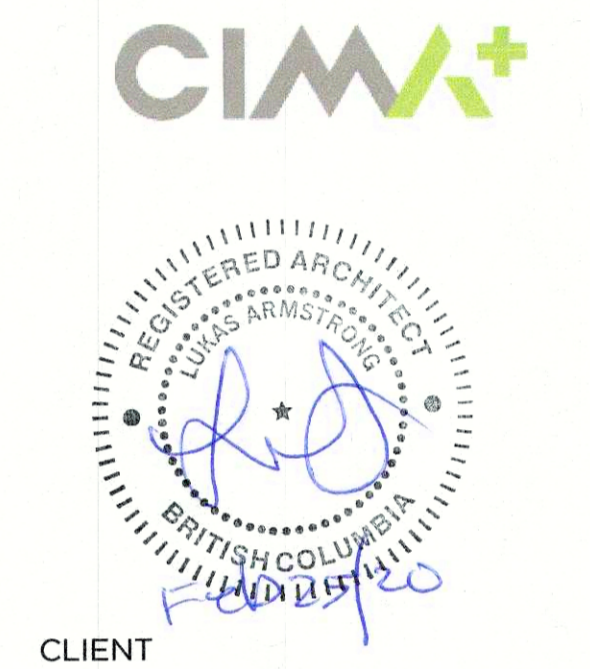
Key Value	Keynote Text
D15	REMOVE EXISTING WALL AND FINISHES
N1	NEW DOOR TO BE INSTALLED
N2	NEW WALL TO BE CONSTRUCTED
N10	INSTALL NEW TOILET AS SPECIFIED
N13	NEW SECURITY GLAZING AS SPECIFIED
N16	INSTALL NEW IMPACT RESISTANT GWB CEILING
N17	INSTALL NEW RESILIENT FLOORING
N19	NEW CONTROL PANEL TO BE INSTALLED
N21	NEW SECURITY CAMERA
N22	INSTALL NEW FLOOR DRAIN
N23	NEW EXTERNAL BLIND CONTROL FOR SECURE ROOM WINDOW
N24	NEW EXTERNAL BLIND FOR SECURE ROOM WINDOW
N26	NEW DETENTION DOOR STOP. EPOXY GROUT INTO EXISTING CONCRETE SLAB.
N28	PATCH AND MAKE GOOD FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION ACTIVITIES (WALLS, FLOORS, AND CEILINGS)
N29	PROVIDE NEW PAINT FINISH TO WALLS
N30	PATCH AND MAKE GOOD EXISTING FLOORING AFFECTED BY CONSTRUCTION ACTIVITIES
N31	REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR EXTENT OF WORK IN THIS AREA, AND LAYOUTS OF DEVICES AND FIXTURES
N32	INSTALL NEW CORNER GUARD AS SPECIFIED
N38	VELCRO CURTAIN TO BE PROVIDED ON THE EXTERIOR OF THE SECLUSION ROOM DOOR WINDOW. REFER TO SPECIFICATIONS.



10 PADDED WALL/ DOOR - PLAN DETAIL  
1: 10

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**BDH SECURE ROOM # 6319003 & BDH SECURITY UPGRADE # 6320003**

**ADDRESS**  
7649 22ND Street  
Grand Forks, BC  
VOH 1H2

**PROJECT #**  
19021

**DATE**  
2020-02-25

**SHEET**  
SECURE RM - CONSTRUCTION

20200225 2:04 PM C:\PROJECTS\2020\6319003 BDH Secure Room\6319003 BDH Secure Room\CAD\REVISED\2020\_02\_25\_COVER\_ARCHITECTURAL\_COOPERATIVE\_INC\BDH Secure Room\_L1.rvt