

Addendum No: 3  
Date: January 19, 2024  
Owner: Northern Health  
Stantec # 144320228

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This addendum is to be read with and constitutes part of the tender document.

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## 0.0 **GENERAL**

UHN Pharmacy Site visit attendance list

<b>Name</b>	<b>Company</b>	<b>Telephone</b>	<b>Email</b>
John Polnik	EQUITY	778-675-4311	john@equityplumbing.ca
Trevor Bellavance	FOUR POINT ELECTRIC	236-970-1030	tbellavance@fourpointelectric.ca
Craig Cocker	IDL PROJECTS	250-981-0124	ccoker@idlprojects.com
Mike Duck	PRD CONSTRUCTION	250-617-6694	michael@prdconstruction.ca
Melissa Lungal	NAPP ENTERPRISE	778-675-7811	melissa@napp.ca
Christian Proctor	NAPP ENTERPRISE	250-961-3096	christian@napp.ca
Darcy Franco	PRIMUS ELECTRIC	250-640-9314	darcy@primuselectric.ca
Leif Pettersen	ALL PRO	250-981-8656	leif@apph.ca
Dale Jarvis	W.I.C	250-640-0999	dalejarvis@wicltd.com
Jenette Malck	ALLRITE HTG	250-612-3912	jenette@allriteheating.com
Tim Whitwick	ALLRITE HTG	250-612-3912	tim@allriteheating.com
Kelly Dutka	PRD COBSTRUCT	250-617-9119	kelly@prdconstruct.on.ca
Dan Webster	UPG	250-763-1013	estimating@upg.ca
Shyldon Somecull	BRYCNET ELECCK.	250-617-5014	shyldon@brycnetelectric.ca
Ritchie Lalonde	EQUITY	778-415-9896	ritchie@equityplumbing.ca

northern health  
the northern way of caring

Capital Projects  
300-399 Victoria Street  
Prince George, BC V2L 5B8

**TENDER SITE TOUR ATTENDANCE LIST**

Project: UHN Pharmacy Napra Upgrade  
 Date: Jan 11, 2024 – 11am  
 Consultant: Stantec  
 Project Manager: Jay Dupras

Name	Company	Telephone	Email
John Polak	Equity	778-675-4311	John@equityplumbing.ca
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Craig Coxter	DLX Protect	250 781 0124	ccoxter@dlxprotect.ca
MIKE DUCK	PRD CONST	250-617-6694	michael@prdconstruction.ca
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Project: UHN Pharmacy Napra Upgrade  
 Date: Jan 11, 2024 – 11am  
 Consultant: Stantec  
 Project Manager: Jay Dupras

Name	Company	Telephone	Email
Dale Jarvis	U.I.C.	250 640 0998	dalejarvis@uic.ca
Jerome Mace	Airite Htg	250 612 3912	jmace@airiteheating.ca
Tim Whitlock	Airite Htg	250 612 3912	tim@airiteheating.ca
Kelly Dutka	PRD Const	250-617-9119	Kelly@prdconstruction.ca
Dan Webster	UPG	250-763-1013	danwebster@upg.ca
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Ritchie Lalonde	Equity	778-415-9896	ritchie@equityplumbing.ca

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## 1.0 SPECIFICATIONS

### Section 01 21 00 Cash Allowances

#### Part 1.3.8.1 CA-1 HAZARDOUS WASTE REMOVAL

Delete: \$20,000

Replace with: \$75,000

## 2.0 DRAWINGS

### Architectural

#### Drawing AE-112:

- Change in wall color. Change to "Waywards Winds 0 DLX1043-3"

## 3.0 CLARIFICATIONS

Question: Will Altro Whiterock be consider an equal to the Acrovyn.

Answer: All wall protection can be Altro Whiterock, all joints to be welded. Confirm color with FMO.

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Question. The New EF's and AHU require new breaker buckets in the MCC – 10E. There does not seem to be enough room for the brakers. Please confirm.

Answer: Refer to photo below circled area, 18” mounting space is available for three of 3phse 3 wire breakers, using “Compac 6 unit” (Schneider). Please inform owner and consultant if these spaces shown in photo are not available anymore.

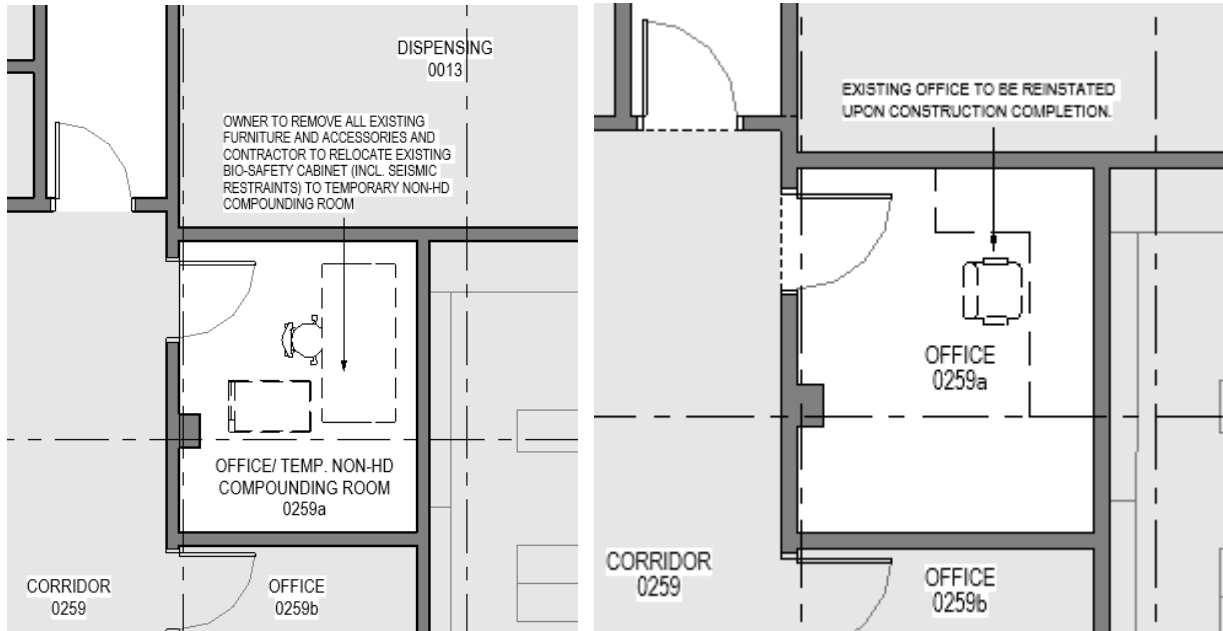


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Question: Section 02 41 20 1. 13 lists under Intent that we are to hire a P-Eng to draft a demo plan. 1.5/1.6/1.7 do not identify delegated engineering requirements for demolition. Subsection 3.1.6 again mentions that p-Eng is required to survey field conditions, but letters of assurance are not mentioned. Please confirm this requirement.

Answer: P-Eng requirements are applicable only if the structural elements of the building are renovated.

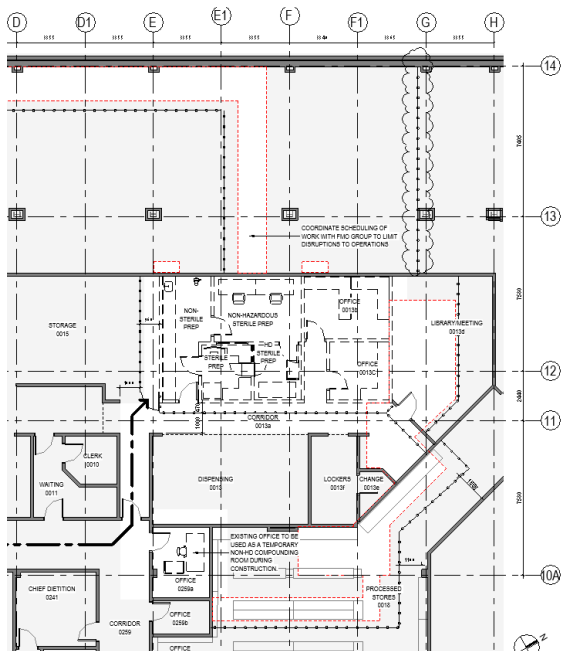
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Question: AE001 shows that office 0259a is to be used as a temporary non-HD compounding room during construction. There is no further reference to the scope of this renovation other than to reinstate back to an office once the project is complete. Please confirm the scope of work for this project within the office.

Answer: Yes, the office will be used as temporary compounding room during construction as noted in AD101 and AE101.



Question: the hoarding requirements show on AE001 do not capture all the ducting that is shown on M102 for the area around bay line 13 and between E and G. Please confirm the hoarding extents for the mechanical and electrical in these areas.

Answer: Yes, hoarding to extent as needed to cover the working area.



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Question: Architectural note 119 on drawing AD101 says to refer to mechanical drawings for more information. The mechanical drawings don't indicate this scope of work anywhere.

Answer: Mechanical note updated on M101 as per below snip.

MECHANICAL KEYNOTES	
Key Value	Keynote Text
1	EXISTING TRANSFER GRILLES AND DUCTWORK TO BE DEMOLISHED.
2	EXISTING SUPPLY AIR GRILLE AND ASSOCIATED DUCTWORK TO BE DEMOLISHED.
3	EXISTING EXHAUST GRILLE AND ASSOCIATED DUCTWORK WITHIN PHARMACY AREA TO BE DEMOLISHED AND CAPPED OFF.
4	EXISTING BIO-SAFETY CABINET TO BE REMOVED AS PER ARCHITECTURE DRAWINGS. EXISTING DUCTWORK WITHIN PHARMACY RENOVATION AREA TO BE DEMOLISHED AND CAPPED OFF. PROVIDE LABEL ON CAPPED DUCT.

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Question: Drawing AE001 shows poly zip walls for hoarding. Has NHA approved this type of hoarding system based on the Construction Activity identified by the MDT.

Answer: Contractor is required to meet (CAN/CSA Z317.13-17) "Infection control during construction, renovation, and maintenance of health care facilities" shall be followed for all work on this project.

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Question: Please provide the Pre-renovation hazardous & regulated materials assessment for these area of the hospital.

Answer: No hazmat report is available at this time. Please refer to Part 1 of this Addendum (#3) to clarify cash allowance requirement.

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Question: Does the hallway areas between the data closet office and the pharmacy considered an infection control space? Do we need to be running the negative air carts in this part of the hospital for removing ceiling tiles to run wires? Being a service corridor, I thought there may be the potential of it not being required.

Answer: CAN/CSA Z317.13-17 Infection control during construction, renovation, and maintenance of health care facilities shall be implemented in all locations.

Project #CI21181  
UHNBC  
PHARMACY NAPRA UPGRADES

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**END OF ADDENDUM #3**