

Addendum No: 8
Date: February 12, 2024
Owner: Northern Health
Stantec # 144320228

This addendum is to be read with and constitutes part of the tender document.

0.0 GENERAL

Non in use

1.0 SPECIFICATIONS

Non in use

2.0 DRAWINGS

AD101 – 1/AD101 L0 – FLOOR PLAN DEMOLITION

Added note, relocate existing fridges coordinate on site with NHA to keep them running and accessible during demolition and construction.

Added note, Coordinate on site with NHA for relocation of existing items and furniture located in the library, as they need to be accessible and functional during construction.

AE102 – 2/AE102 ROOF CURB DETAIL

Curb detail updated as per new structural recommendation.

S101 - 1/S101 PARTIAL LOWER ROOF PLAN

HSS posts added to support raised steel platform to support raised AHU.

Bottom beam flange braces added at each new HSS post.

Note added to confirm exist steel beam locations with AHU to be supported on minimum 5 beams.

2/S101 SECTION

Steel support frame raised and HSS posts added to support frame.

Spacer plate at support frame deleted.

3/S101 SECTION

New section at beam bottom flange braces at HSS posts.

S102 - 3/S102 SECTION

Fabreeka thermal break connection added to HSS col above roof deck.

3.0 CLARIFICATIONS

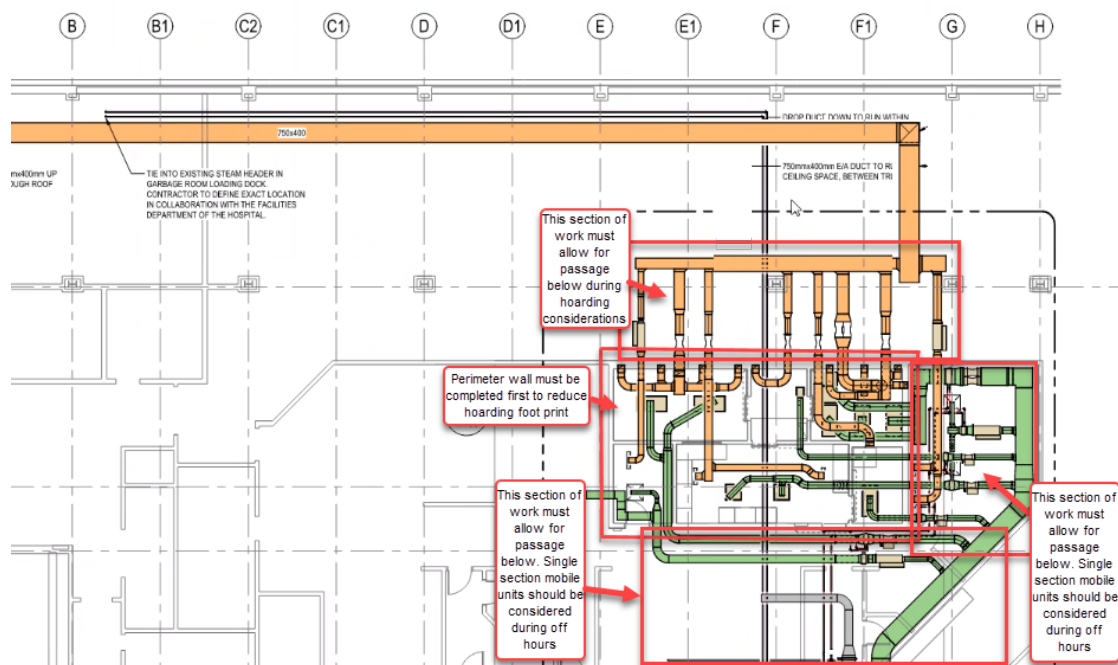
Question: Hoarding related the working area

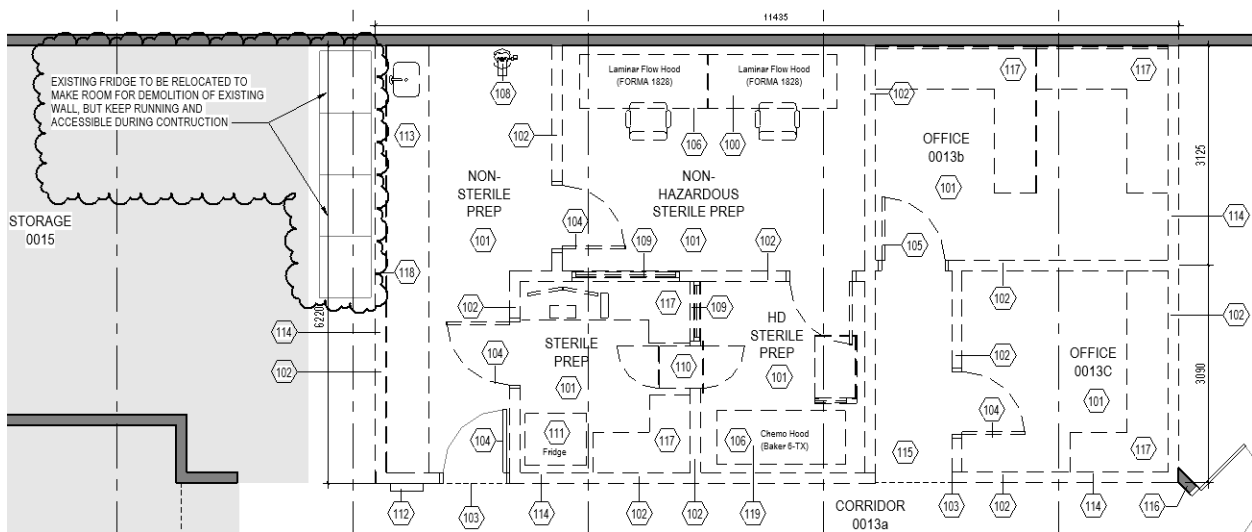
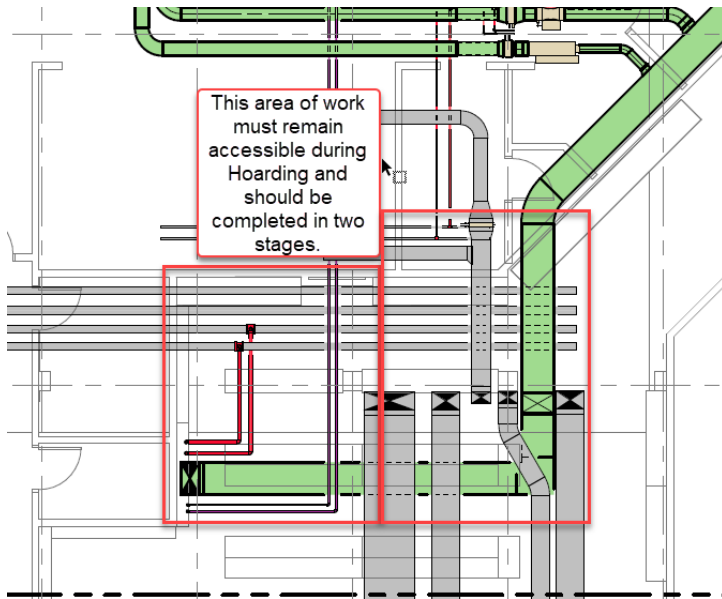
Answer:

Operation of the Hospital is the #1 priority and the work describe in the Tender package will have to happen in sections or phases in order to keep the areas operational during construction. The following breakdown of areas has been reviewed by the Hospital teams and has been generally agreed upon. Selected Contractor will be required to take into consideration the proposed breakdown to develop the sequence of work as part of their scope of service. Erected platform is suggested for the store area as a passageway through the department and storage supplies.

The entire area below is considered Class 4 for infection control for Infection Control. All construction hoarding is required to be hard hoarding to ceiling. (soft Hoarding is required during the installation and demolition of the hard hoarding). Soft hoarding can be used above ceiling. Negative Air duct routing should be above ceiling tile for approximately 10m when exiting the Pharmacy space before dropping below for security reasons.

1. Population Risk Group Risk: Group 4
2. Construction Activity Type: Construction Activity IV
3. Resulting Control Measure for infectious control: Type D





Question: Submittal - Price Break Down

Can you please provide the price break down requested to be submitted for the project?

Cash Allowances

The cash allowance values are not updated in the submittal as per the addenda. The submittal shows \$40,000 (accumulative) while the addenda mentions \$75,000 and \$20,000. Please advise if this will be updated for the final submission.

Answer: As per addendum 3:

AC-1 Hazardous waste removal, has been updated to \$75,000 and for point 2:

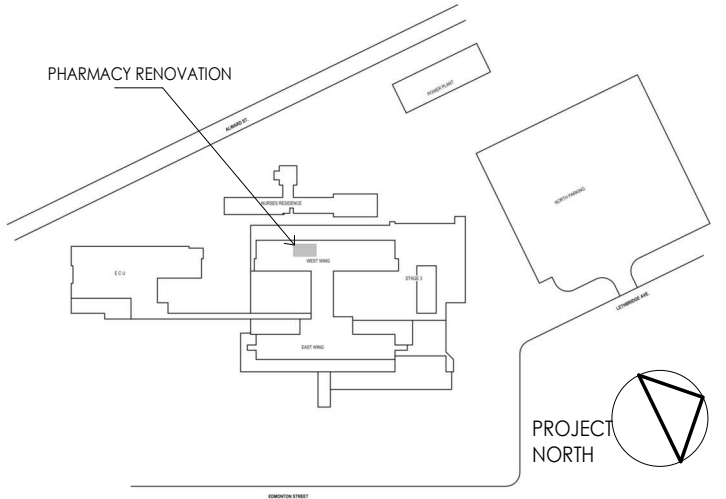
AC-2 Exhaust duct removal, remain \$20,000 – having a total accumulative of \$95,000.

Stantec Architecture Ltd.

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END OF ADDENDUM #8



DEMOLITION GENERAL NOTES

- PARTITION LAYOUTS SHOWN MAY NOT REFLECT EXACT SITE CONDITIONS. VERIFY ACTUAL EXISTING PARTITION LAYOUT ON SITE.
- STRUCTURAL, MECHANICAL, & ELECTRICAL ELEMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES ONLY. REFER TO THE RESPECTIVE DISCIPLINE DRAWINGS FOR EXACT LAYOUT, DIMENSIONS, QUANTITIES, ELEVATIONS, & REQUIREMENTS.
- OWNER TO REMOVE ALL FURNITURE AND EQUIPMENT.
- HOARDING/DUST CONTROL/TACK MATS TO BE THE RESPONSIBILITY OF THE G.C.
- MAINTAIN ACCESS TO EXITS AND EXIT SIGNS DURING DEMOLITION.
- REMOVE EXISTING FLOORING C/W SELF COVERED BASE WITHIN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING WALL PROTECTIONS, CORNER GUARDS, AND HANDRAILS WITHIN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
- REMOVE ALL WALL MOUNTED ITEMS/ACCESSORIES AND PROTECT FROM HARM DURING RENOVATION UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING MILLWORK UPPER AND LOWER CABINETS, AND SHELVING WITHIN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
- PATCHING OF ALL FLOOR OPENINGS TO BE BY G.C. PATCH WITH 2 HOUR F.R.R. SYSTEM.
- PATCH AND REPAIR WALLS, FLOOR, AND CEILING AT ALL AREAS EXPOSED WHERE MILLWORK, ELECTRICAL, OUTLETS/DEVICES AND OR WALLS ARE REMOVED. CONSTRUCTION AND FINISHING TO MATCH EXISTING OR NEW ADJACENT CONSTRUCTION AND FINISH.
- REMOVE ALL CEILING SYSTEMS IN ALL AREAS UNDER DEMOLITION UNLESS OTHERWISE NOTED.
- REMOVE AND SET ASIDE ALL PINBOARDS FOR REUSE.

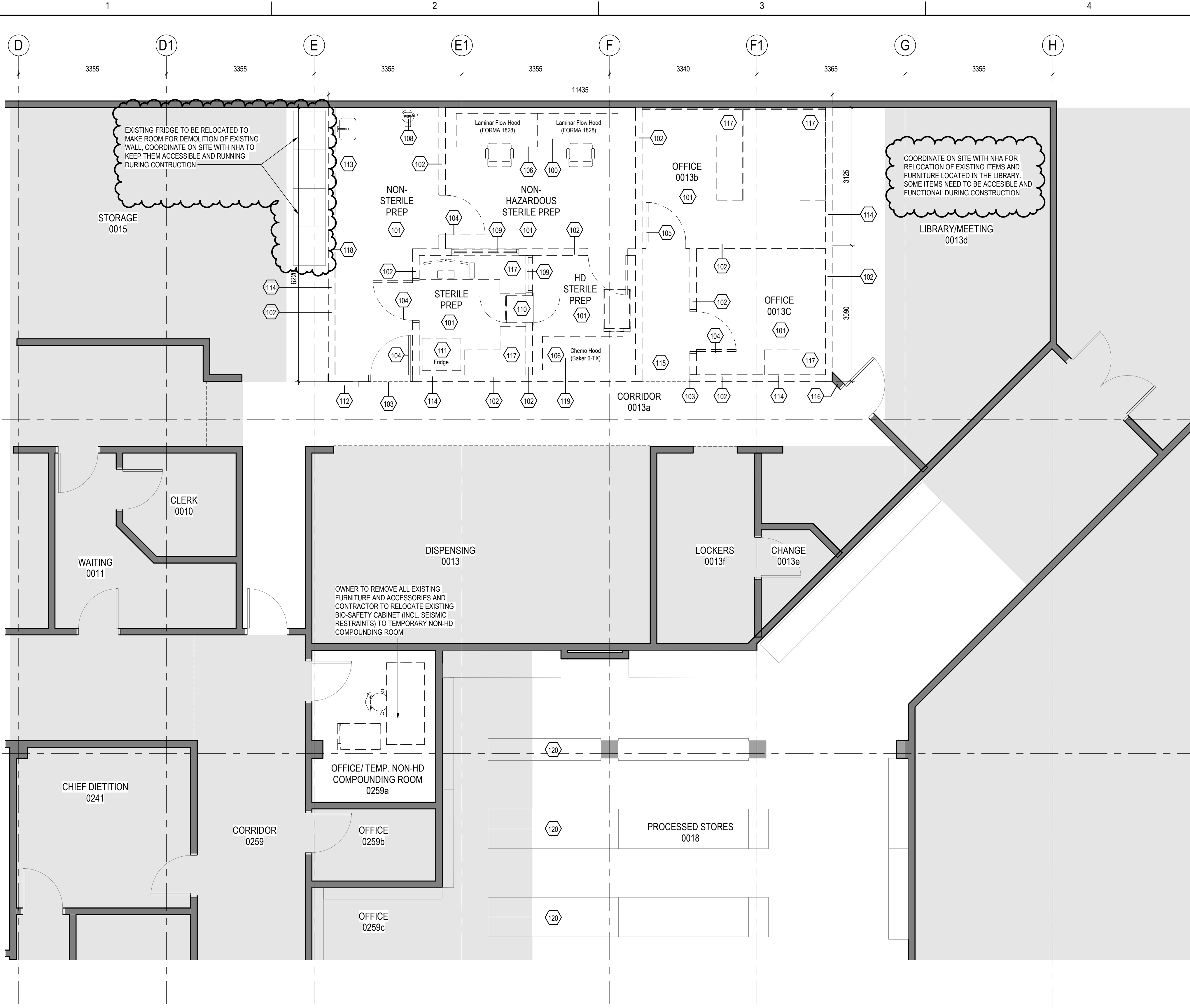
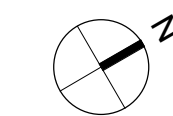
DEMOLITION LEGEND

- EXISTING WALL & DOOR AND FRAME CONSTRUCTION
- NEW WALL & DOOR AND FRAME CONSTRUCTION
- EXISTING WALL & DOOR AND FRAME CONSTRUCTION TO BE DEMOLISHED
- EXISTING BUILDING AREA - NOT IN CONTRACT

DEMOLITION KEYNOTES

- 100 REMOVE, SET ASIDE FOR RELOCATION AND REINSTALL EXISTING LAMINAR FLOW CABINET (C/W SEISMIC RESTRAINTS). DOWNTIME OF THE UNIT MUST BE MINIMIZED TO 1-2 BUSINESS DAY(S). REFER TO MECHANICAL AND COORDINATE WITH NHA PM AND PHARMACY TEAM.
- 101 REMOVE AND DISPOSE OF EXISTING FLOOR FINISH C/W INTEGRAL BASE. SCARIFY OR SHOT BLAST AS REQUIRED TO PREPARE AREA FOR UNDERLAYMENT OF NEW FLOORING. PREPARE AS REQUIRED PER MANUFACTURER'S INSTRUCTIONS.
- 102 DEMOLISH INTERIOR WALL PARTITIONS AND ALL WALL MOUNTED EQUIPMENT & ACCESSORIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CHECK AND ENSURE THE STRUCTURAL INTEGRITY & STABILITY OF THE REMAINING PORTIONS OF REMAINING SURROUNDING WALLS AND STRUCTURAL ELEMENTS AND SHALL NOT DEMOLISH ANY STRUCTURAL ELEMENTS IF FOUND EMBEDDED IN THE EXISTING WALLS.
- 103 DASHED LINE INDICATES EXTENT OF EXISTING FLOOR REMOVAL C/W INTEGRAL BASE.
- 104 REMOVE EXISTING DOOR C/W FRAME AND HARDWARE AND TURN OVER TO OWNER/ DISPOSE OF. CONFIRM WITH OWNER.
- 105 REMOVE EXISTING DOOR C/W FRAME AND HARDWARE AND SET ASIDE FOR RELOCATION.
- 106 REMOVE EXISTING LAMINAR FLOW CABINET AND HAND OVER TO OWNER.
- 108 REMOVE AND DISPOSE OF HAND OVER TO OWNER EXISTING EMERGENCY EYEWASH. CAP PLUMBING LINES - REFER TO MECHANICAL.
- 109 EXIST. WINDOW TO BE REMOVED & DISPOSED OF/ HANDED OVER TO OWNER. CONFIRM DISPOSAL WITH OWNER.
- 110 REMOVE AND DISPOSE OF EXISTING PASS-THROUGH HATCH.
- 111 EXIST. REFRIGERATOR TO BE REMOVED AND HANDED OVER TO OWNER.
- 112 REMOVE AND RELOCATE EXISTING FIRE HOSE CABINET.
- 113 REMOVE AND DISPOSE OF EXISTING MILLWORK C/W SINK. REFER TO MECHANICAL FOR PLUMBING DISCONNECTS.
- 114 PATCH AND MAKE GOOD EXISTING FLOORING AT PARTITION REMOVAL.
- 115 REFER TO MECHANICAL FOR EXTENT OF NEW PLUMBING REQUIREMENTS TO COORDINATE EXTENT OF SAW-CUT/ EXCAVATION REQUIRED FOR THE NEW PLUMBING LINES.
- 116 PATCH AND MAKE GOOD EXISTING WALLS WHERE ADJOINING WALLS HAVE BEEN REMOVED.
- 117 REMOVE AND DISPOSE EXISTING CASEWORK/MILLWORK. PATCH AND MAKE GOOD EXPOSED WALL BEHIND.
- 118 REMOVE AND SET ASIDE FOR RELOCATION EXISTING BINS STORAGE SYSTEM.
- 119 DEMOLISH EXISTING BIO-SAFETY CABINET DUCT CONNECTION, CAP AND LABEL DUCTS. REFER TO MECHANICAL.
- 120 REMOVE THE CONTENTS OF SHELVES TEMPORARILY. REPOPULATE AFTER INSTALLING OF THE NEW DUCT AND BULKHEAD.

MATTERPORT (3D) SCANS OF EXISTING L0 AND ANCILLARY SPACES
SCAN USING CELL PHONE CAMERA. REFER TO SPECIFICATIONS IF COMPUTER COMPUTER LINKS HAVE BEEN PROVIDED.
<https://matterport.com/discover/spaces/agFbZziHoZ>



1 L0 - FLOOR PLAN - DEMOLITION
AD101 1:50

Rev	Issued For/Revision	By	Appd	Date
B	ISSUED FOR #1 ADDENDUM 8	AA	EL	2024-02-12
A	ISSUED FOR TENDER	AA	EL	2023-09-28
	Issued/Revision	By	Appd	YYYY.MM.DD

Permit/Seal



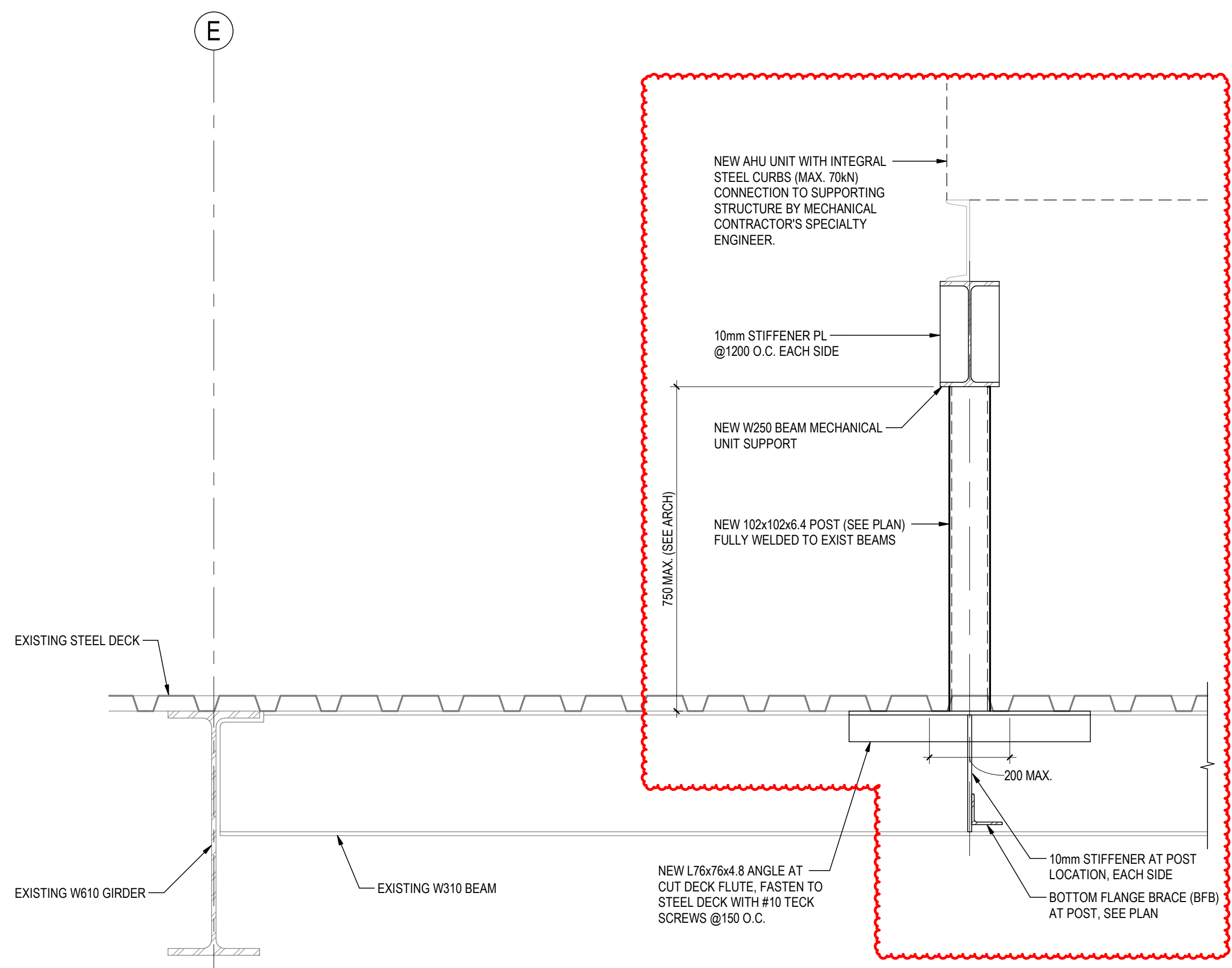
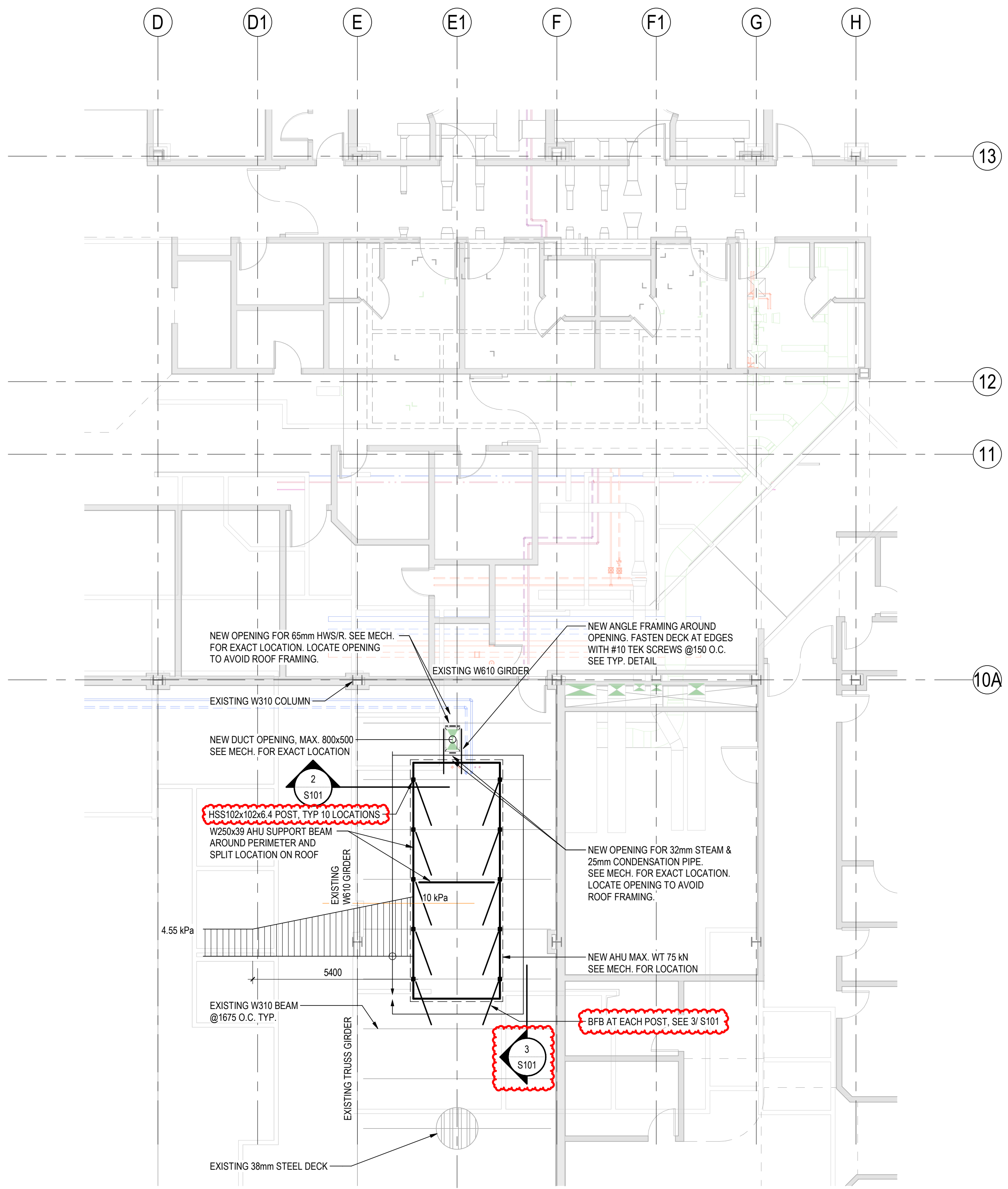
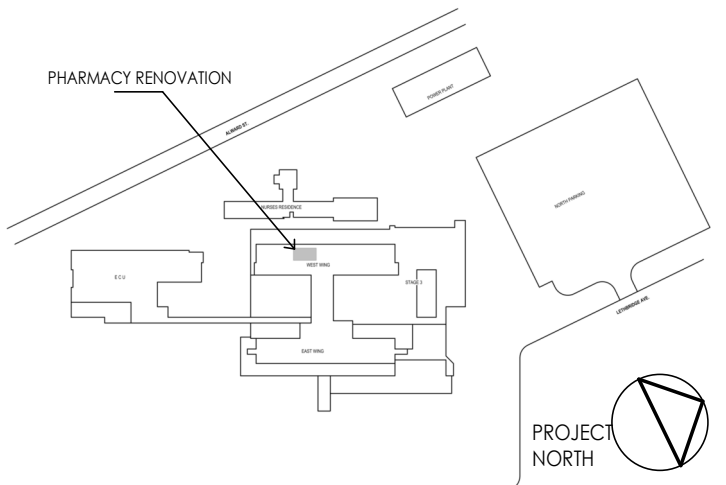
Client/Project
Northern Health Authority

UHNBC (University Hospital of Northern BC)-
NAPRA Pharmacy Renovation
1475 Edmonton St, Prince George, BC V2M 1S2

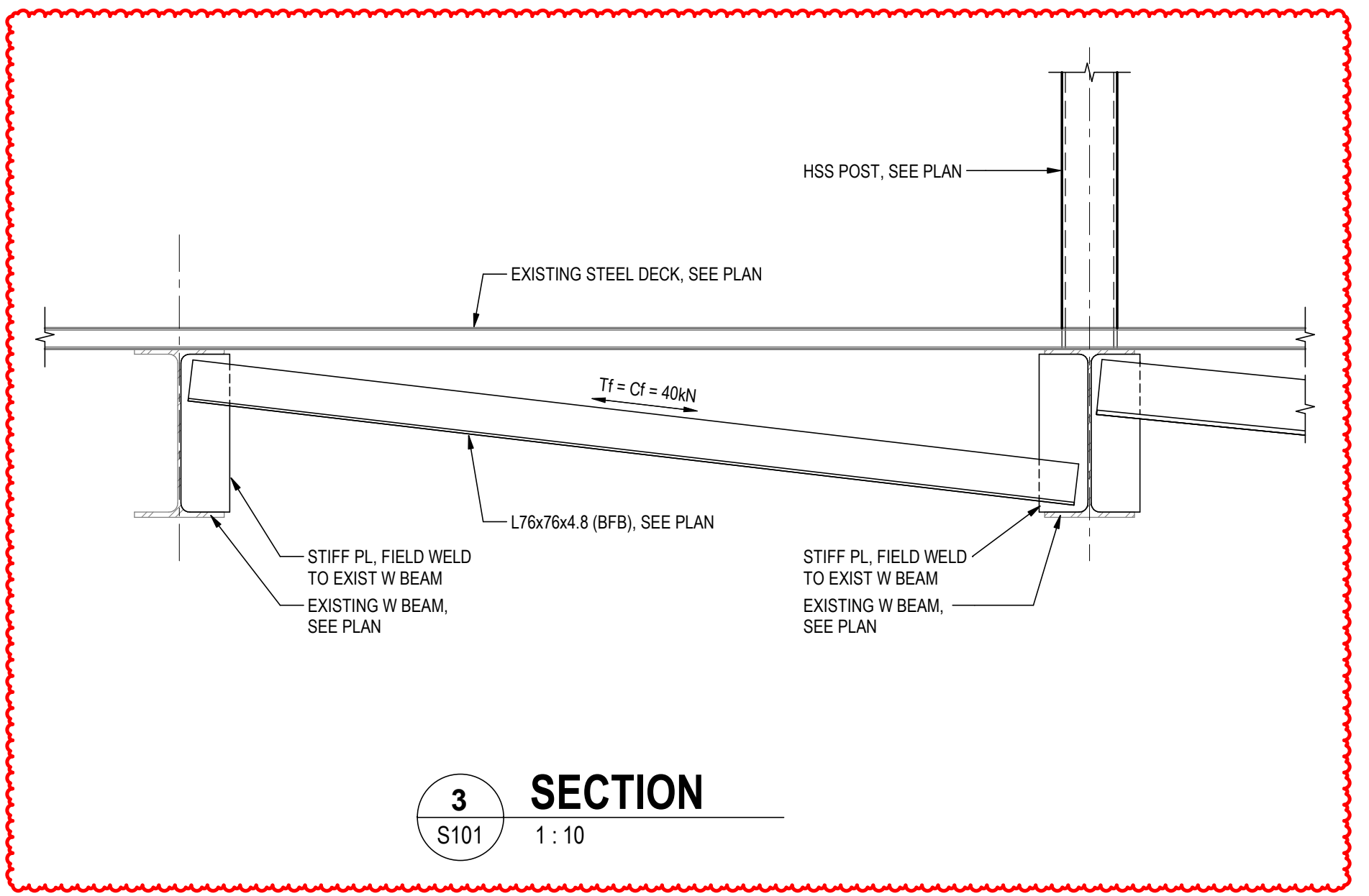
Title
LEVEL 0 - EXISTING AND DEMOLITION FLOOR PLAN

Project No. 144320228
Revision B

Scale As indicated
Drawing No. **AD101**



- INSTALLATION NOTES:**
- REMOVE ROOFING AND CUT MAX 1 TOP FLUTE AT EXISTING BEAM LOCATION.
 - ADD STIFFENERS AT EXISTING BEAM FRAMING SUPPORT LOCATIONS EACH SIDE.
 - ADD 600mm LONG ANGLE AT U.S. OF STEEL TO SUPPORT STEEL DECK.
 - INSTALL SPACER PL AND NEW MECHANICAL UNIT SUPPORT FRAMING TO EXISTING STRUCTURE.
 - ALL EXPOSED STEEL AND THEIR CONNECTION TO BE HOT DIPPED GALVANIZED.
 - SEE ARCH. FOR WATERPROOFING AND INSULATION REQUIREMENTS.
 - SITE CONFIRM DECK AND ROOFING THICKNESSES AND NOTIFY ENGINEER FOR ANY DISCREPANCY.



ADDENDUM #	AD	AH	DATE
A	ISSUED FOR TENDER	SDC / AD	2023/09/28
Issued/Revision	By	Appd	YYYY.MM.DD

Permit/Seal

Client/Project Logo

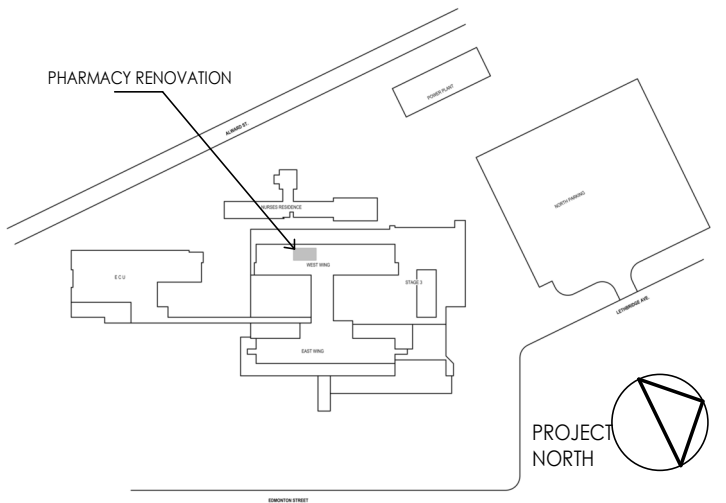


Client/Project
Northern Health Authority

UHNBC (University Hospital of Northern BC)-Pharmacy upgrades
1475 Edmonton St, Prince George, BC V2M 1S2

Title
LEVEL 1 PLAN

Project No. 144320228	Scale As indicated
Revision 1	Drawing No. S101



ADDENDUM #	AD	AM	DATE
A - ISSUED FOR TENDER	SDC / AD	AM	2023/09/28
Issued/Revision	By	Appd	YYYY.MM.DD

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Client/Project Logo



northern health
the northern way of caring

Client/Project
Northern Health Authority

UHNBC (University Hospital of Northern BC) - Pharmacy upgrades

1475 Edmonton St, Prince George, BC V2M 1S2

Title
ROOF PLANS

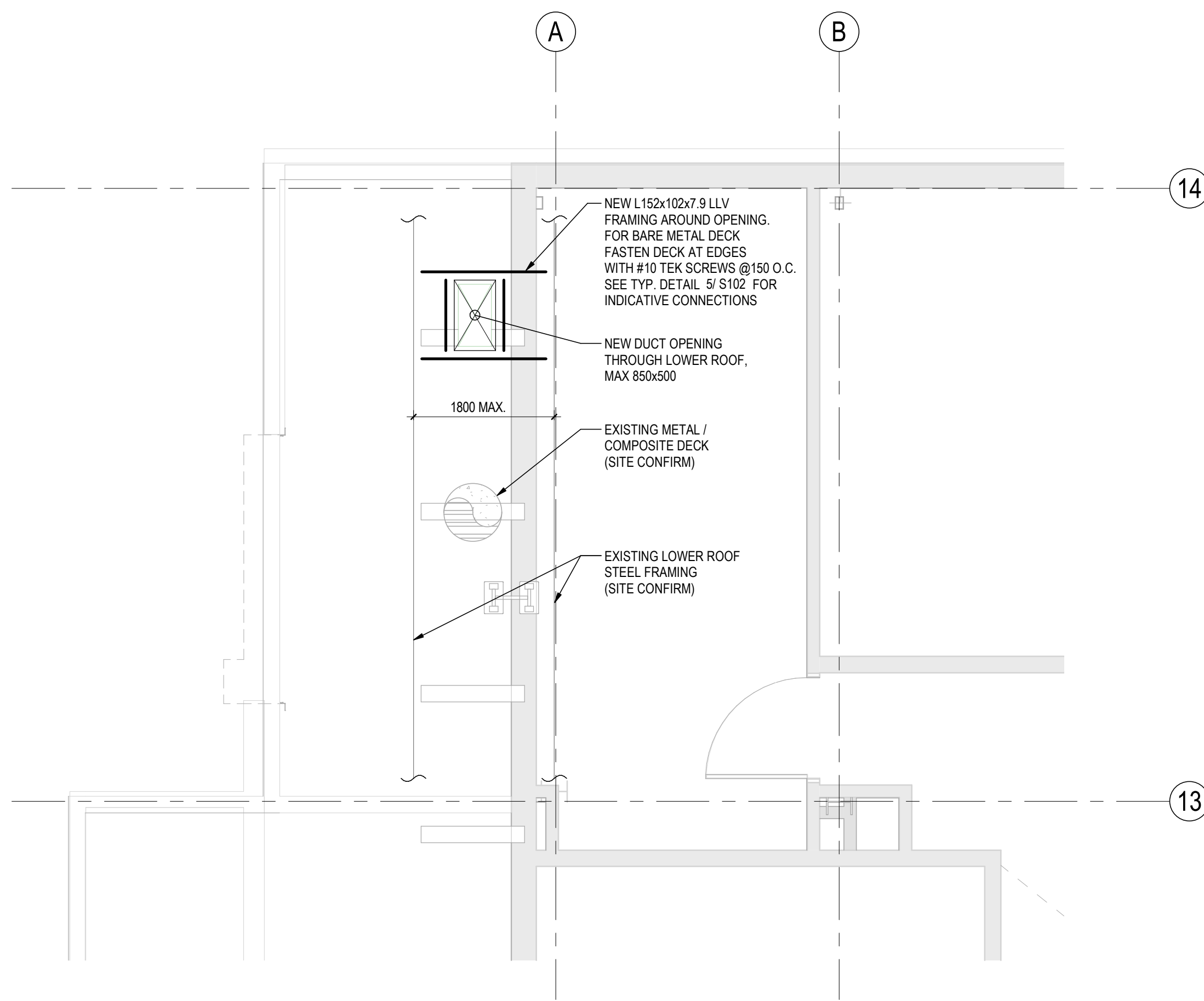
Project No.
144320228

Revision
1

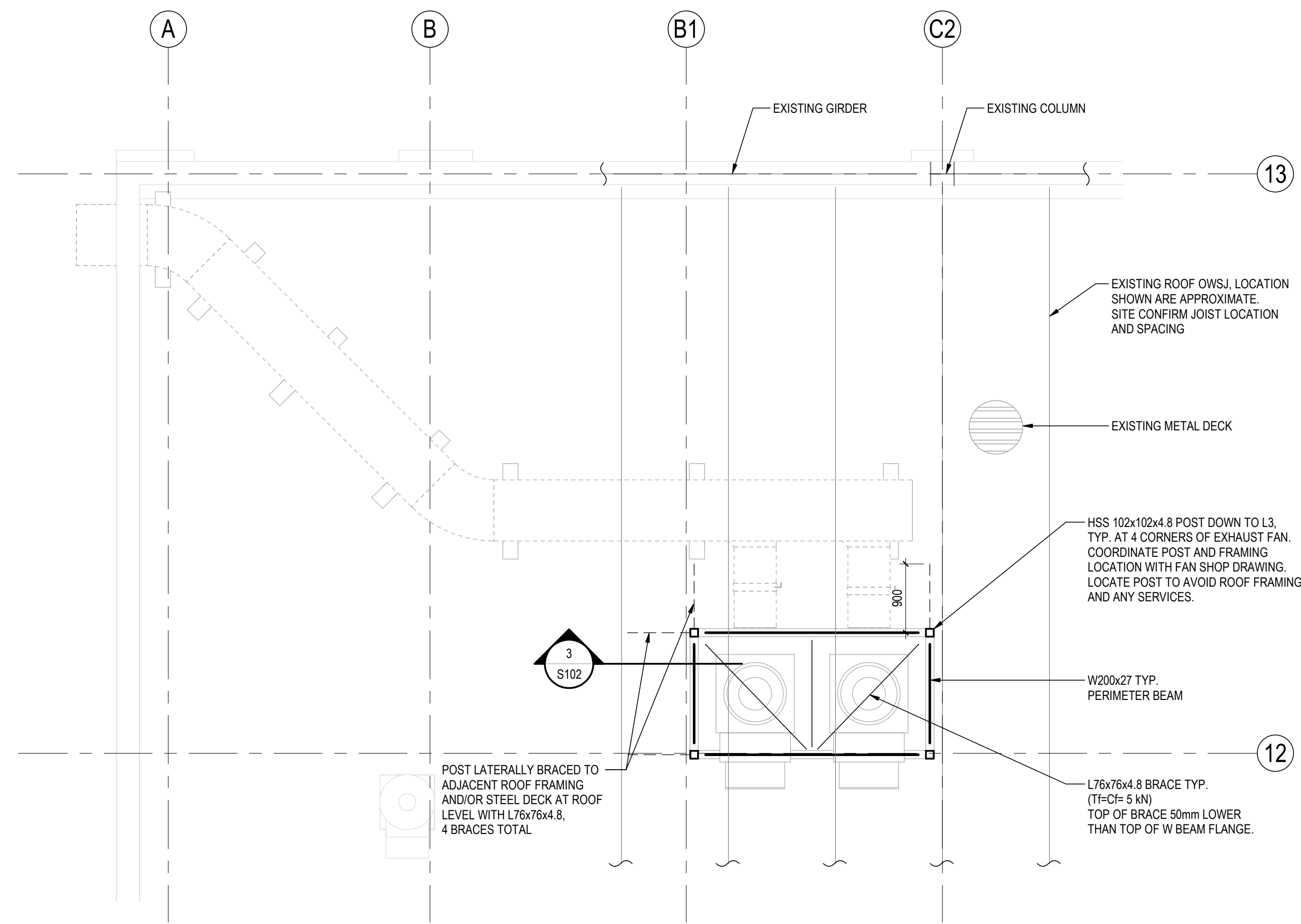
Scale
As indicated

Drawing No.

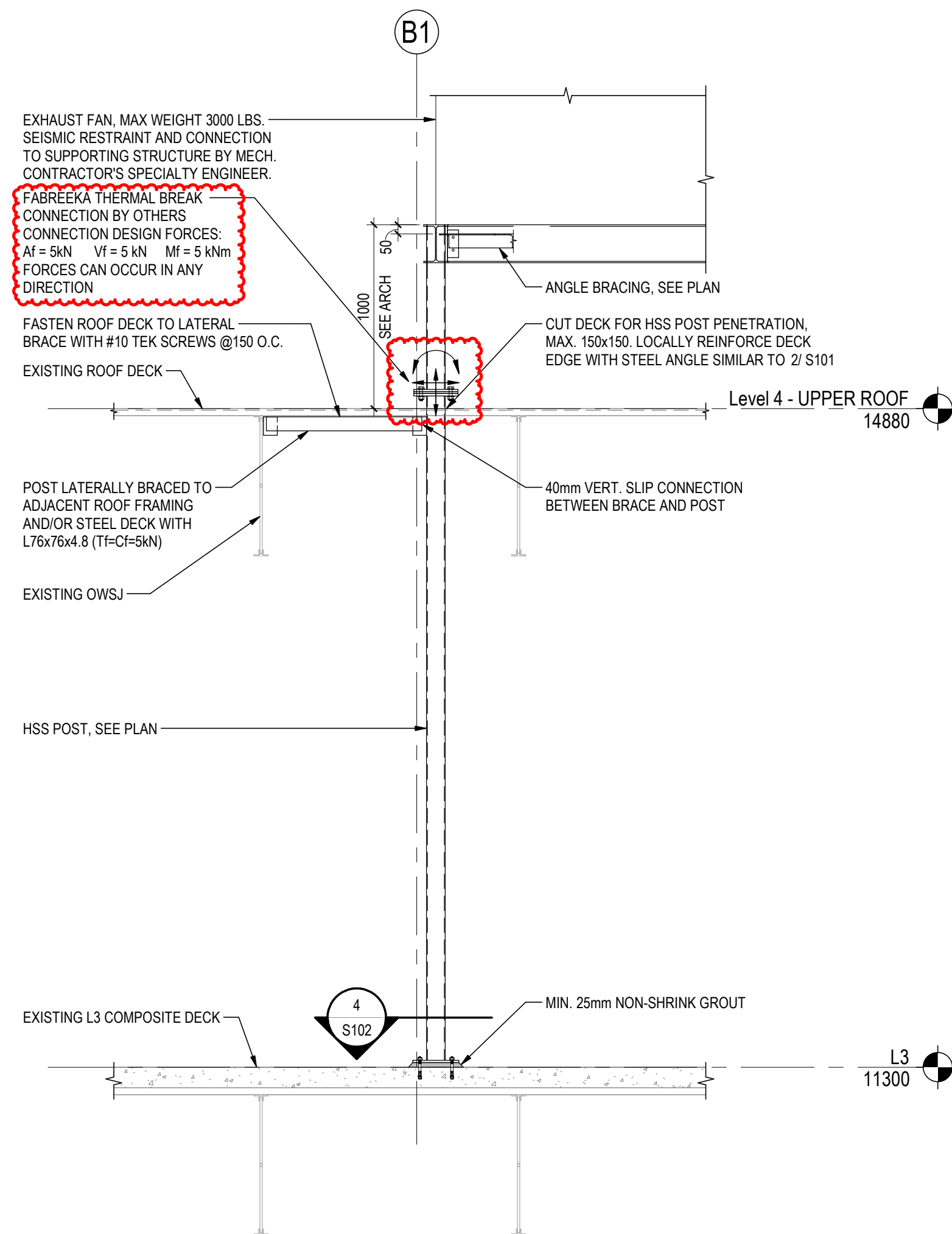
S102



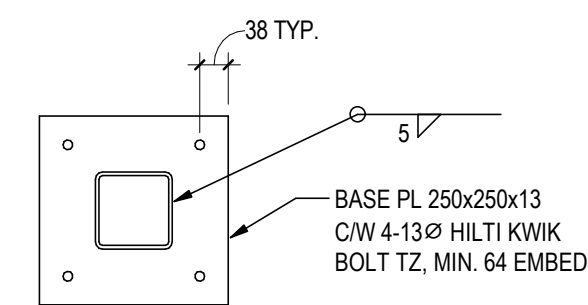
1 PARTIAL L1 - LOWER ROOF PLAN - EL 4064
S102 1:50



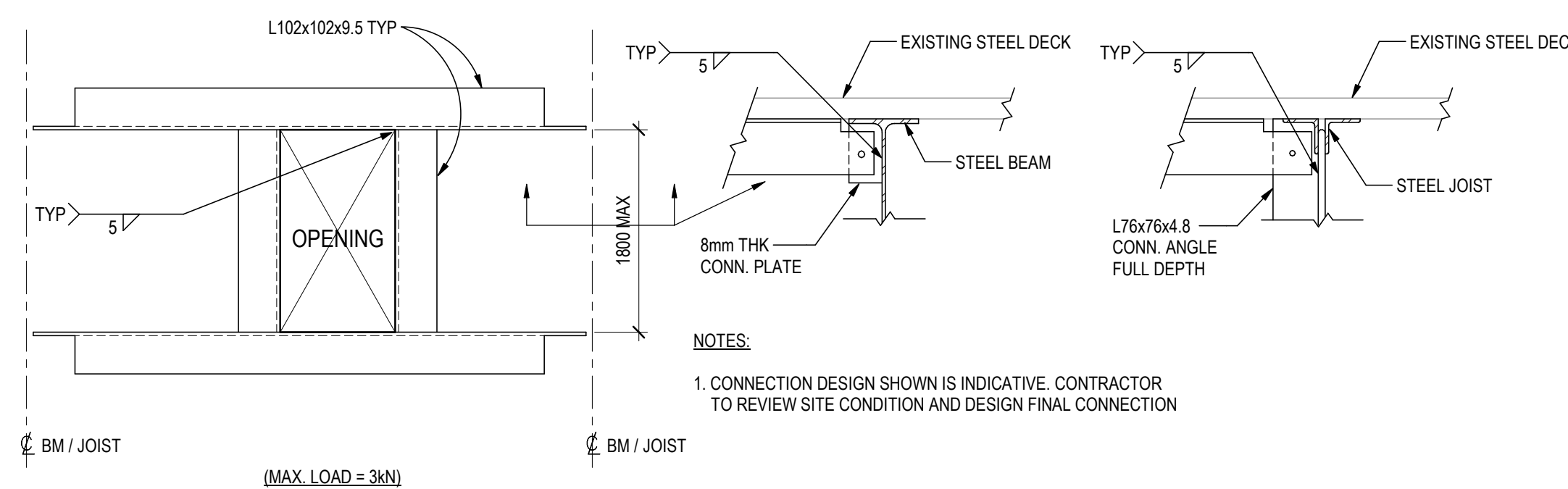
2 PARTIAL LEVEL 4 - UPPER ROOF PLAN - EL 14880
S102 1:50



3 SECTION
S102 1:25

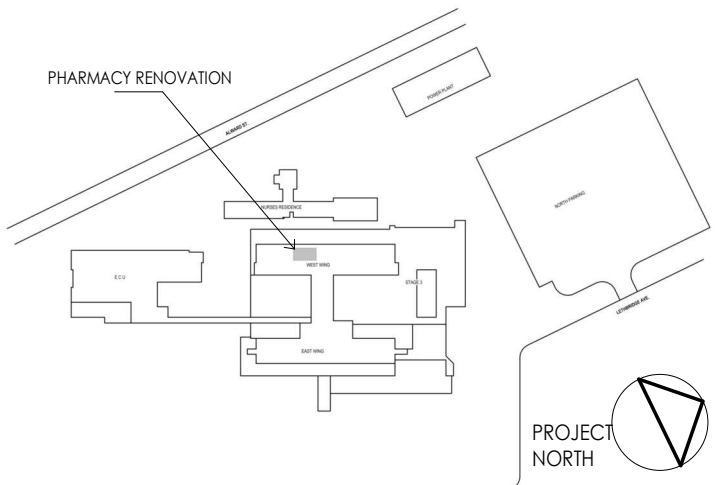


4 BASE PLATE DETAIL
S102 1:10

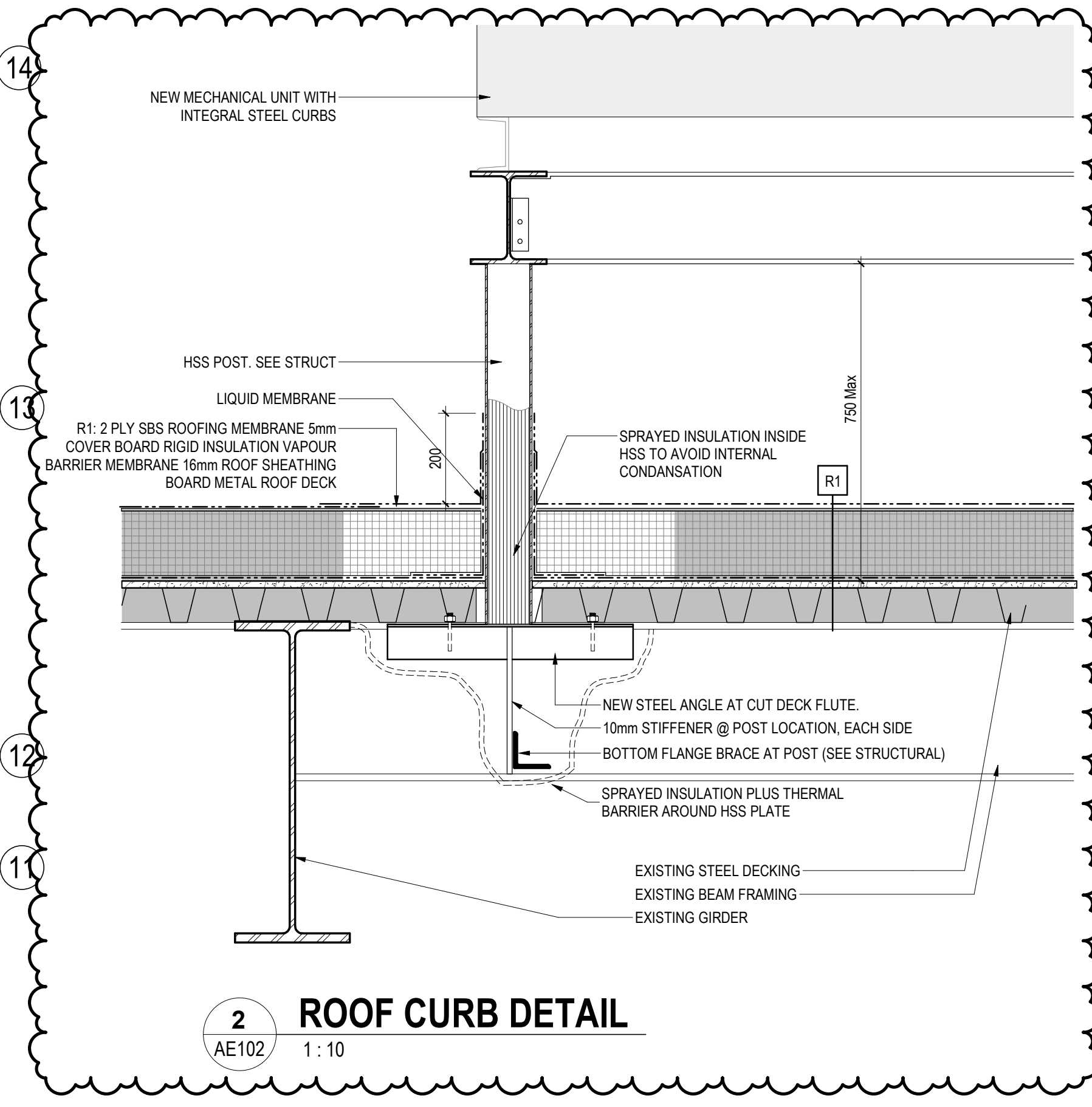


5 TYPICAL FRAMING AT OPENINGS IN METAL ROOF DECK
S102 1:10

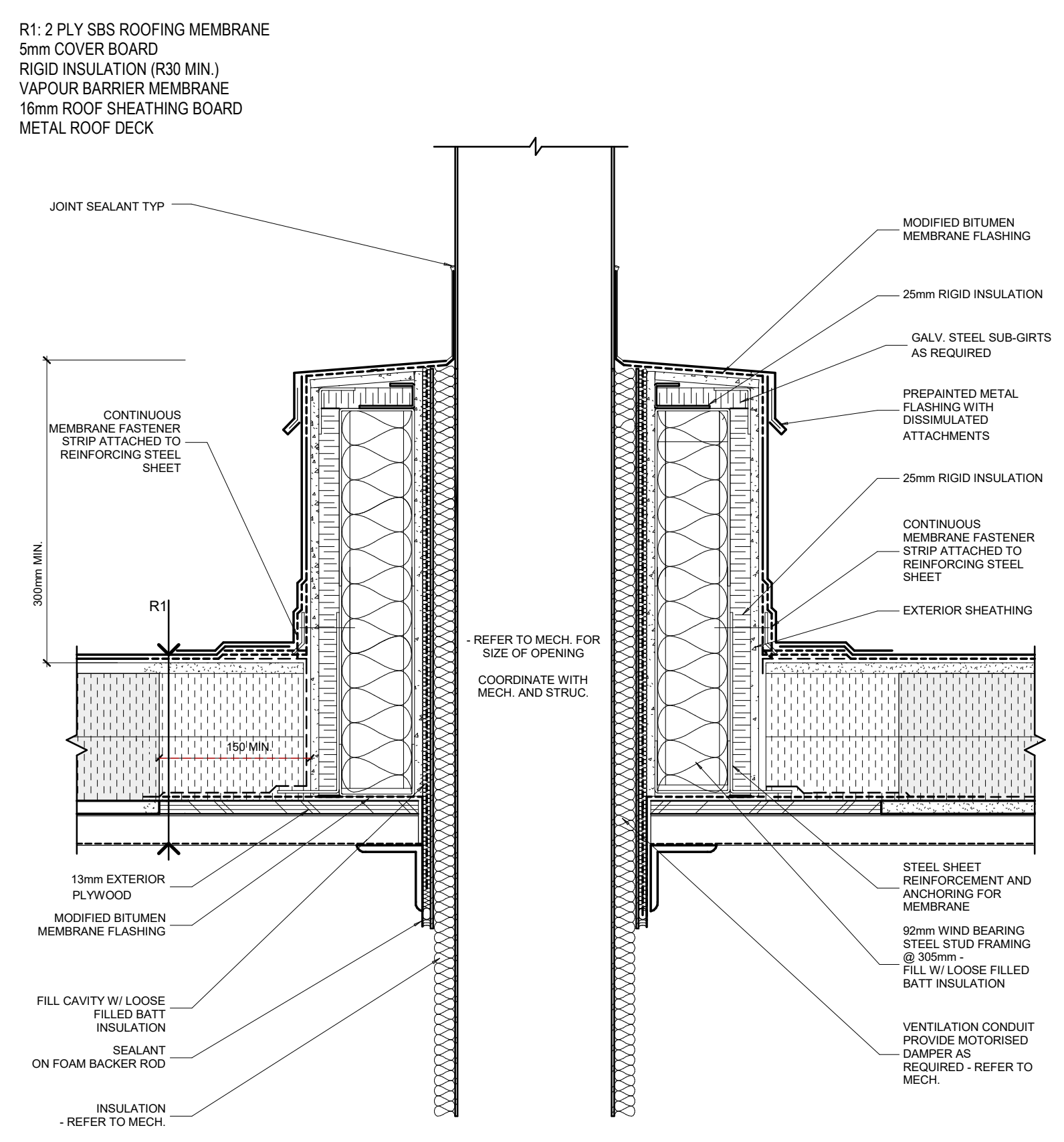
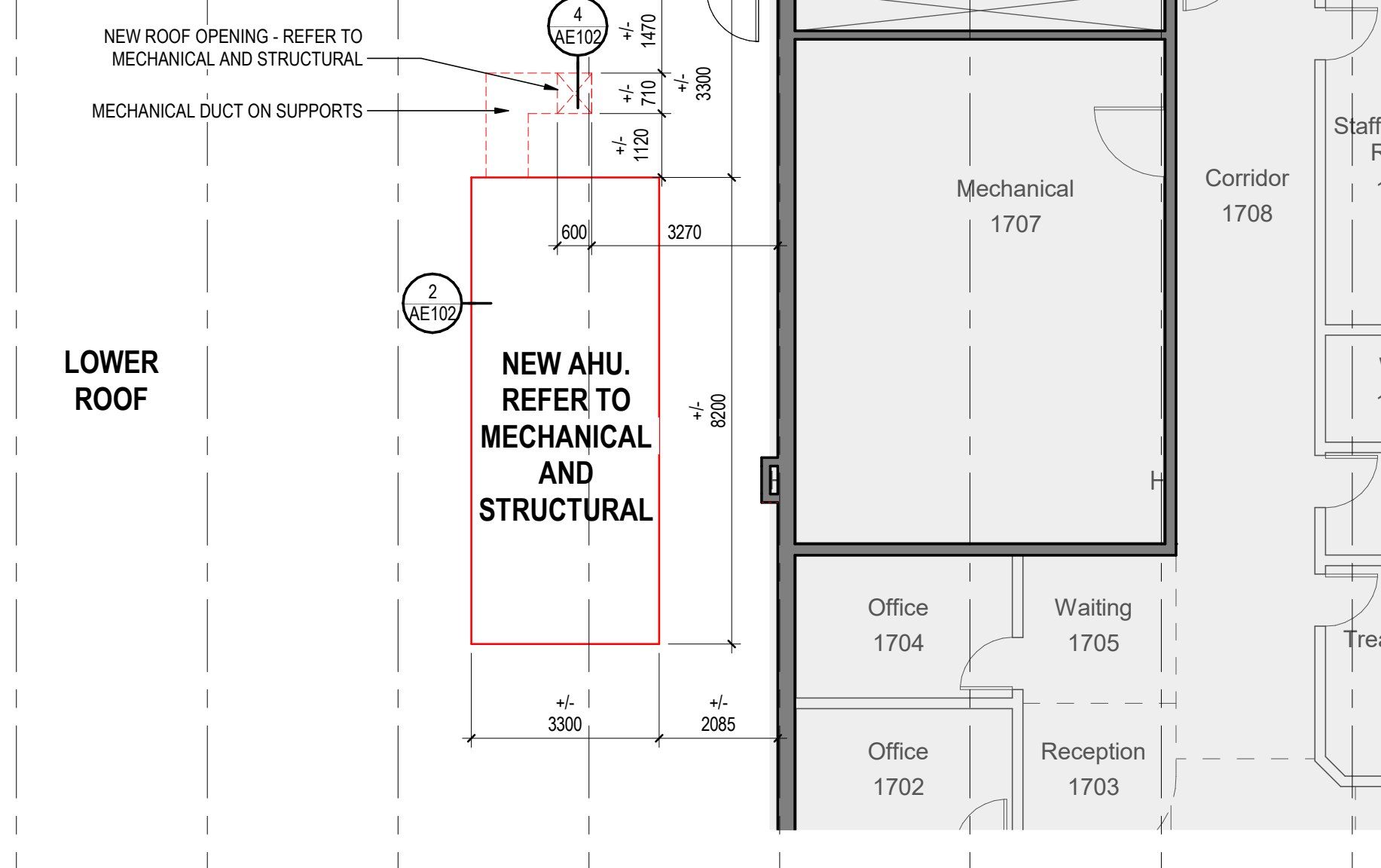
- NOTES:**
1. ALL EXPOSED STEEL AND THEIR CONNECTION TO BE HOT DIPPED GALVANIZED.
 2. SEE ARCH. FOR WATERPROOFING AND INSULATION REQUIREMENTS.
 3. SITE CONFIRM EXISTING ROOF FRAMING AND LOCATE DUCT AND PIPE OPENINGS TO AVOID INTERFERENCE.
 4. COORDINATE MECHANICAL EQUIPMENT AND SUPPORT STRUCTURE LOCATION WITH MECHANICAL DRAWING.



1 LEVEL 1 - RENOVATION PLAN
AE102 1:100



2 ROOF CURB DETAIL
AE102 1:10



4 DUCT PENETRATION DETAIL
AE102 1:5

Rev	Issued/Revision	By	Appd	YYYY.MM.DD
B	ISSUED FOR #1 ADDENDUM 8	EM	EL	2024-02-12
A	ISSUED FOR TENDER	AA	SL	2023-09-28

Permit/Seal



Client/Project
Northern Health Authority

UHNBC (University Hospital of Northern BC) -
NAPRA Pharmacy Renovation
1475 Edmonton St, Prince George, BC V2M 1S2

Title
LEVEL 1 - RENOVATION PLAN

Project No. 144320228	Scale As indicated
Revision B	Drawing No. AE102