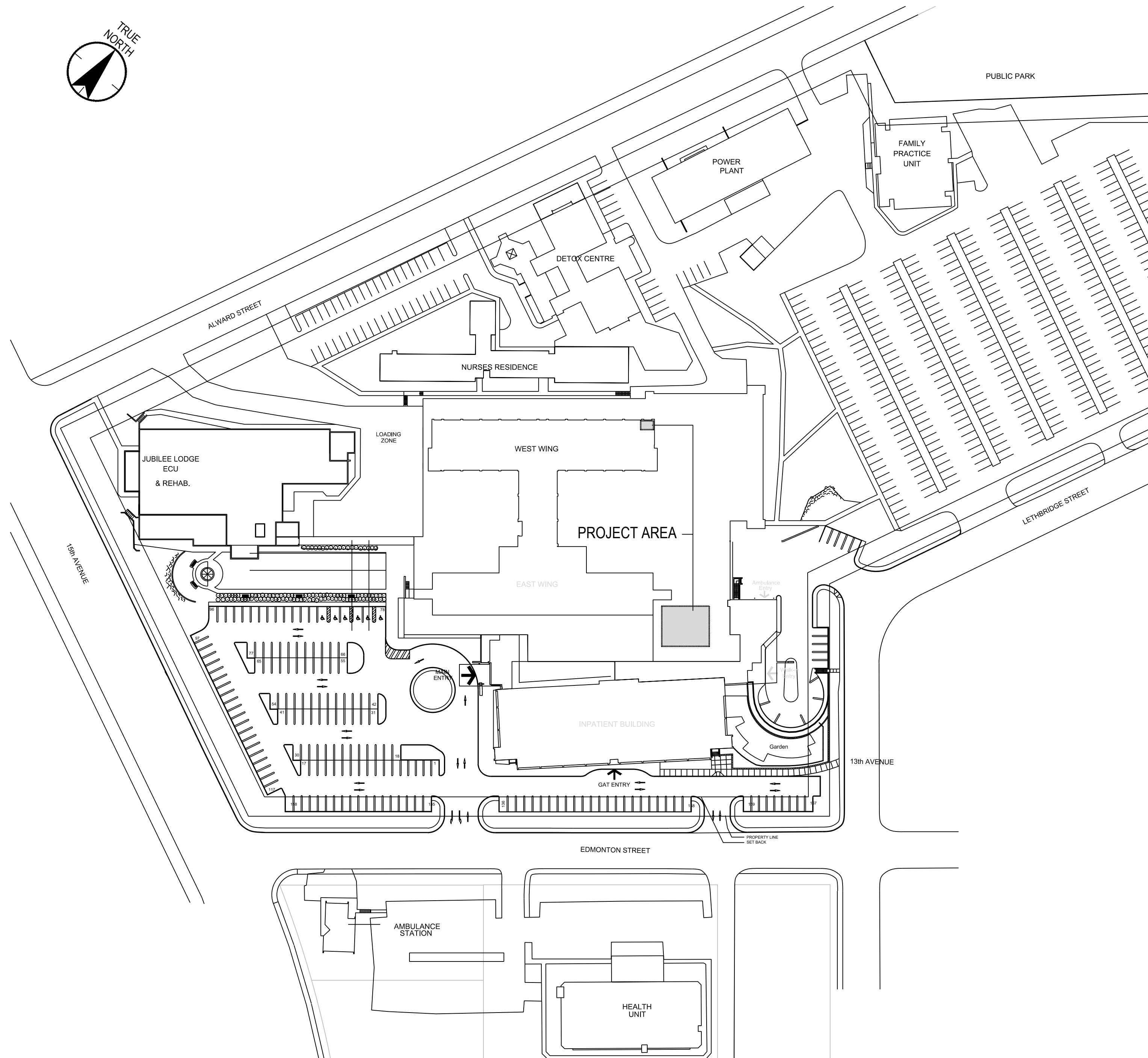
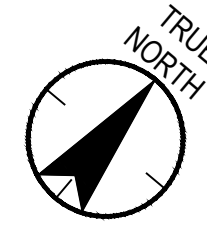


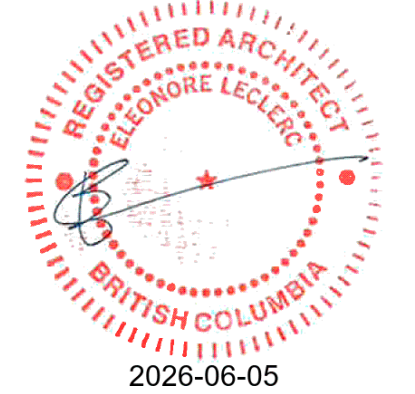
UHN - Histology lab renovation



1 EXISTING SITE PLAN.
A-000 1:1000



1 ACCESS ROUTE TO THE CONSTRUCTION SITE
A-000 1:250



PROJECT ADDRESS: 1475 Edmonton St, Prince George, BC V2M 1S2
PROJECT LEGAL ADDRESS: LOT 4 DL343 PLAN 34806 PID 016348362

PROJECT TEAM:

ARCHITECTURAL :

Stantec Architecture Ltd.
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DRAWING LIST:

ARCHITECTURAL:

- A000 COVER & SITE PLAN
- A100 SAFETY PLAN & PHASING
- A200 GROUND FLOOR & LEVEL 1 DEMOLITION FLOOR PLAN
- A300 PROPOSED GROUND FLOOR PLAN & LEVEL 1
- A400 REFLECTED CEILING PLAN GROUND FLOOR & LEVEL 1
- A500 ROOF PLAN & LEVEL 2 FLOOR PLAN

MECHANICAL:

- M001 MECHANICAL LEGENDS, NOTES AND SCHEDULES
- M101 GROUND FLOOR - HVAC DEMOLITION PLAN
- M102 FLOOR 01 - HVAC DEMOLITION PLAN
- M103 GROUND FLOOR 01 - HVAC RENOVATION PLAN
- M201 GROUND FLOOR - PLUMBING RENOVATION PLAN
- M202 GROUND FLOOR - PLUMBING RENOVATION PLAN
- M301 MECHANICAL DETAILS

ELECTRICAL:

- E000 ELECTRICAL SYMBOL & DRAWING LIST
- E101 GROUND FLOOR - HISTOLOGY SCOPE OF WORK PLAN
- E102 LEVEL 1 - SOILED UTILITY ROOM SCOPE OF WORK PLAN
- E111 GROUND FLOOR - HISTOLOGY LIGHTING PLAN
- E200 SINGLE LINE DIAGRAM

ISSUED FOR CONSTRUCTION

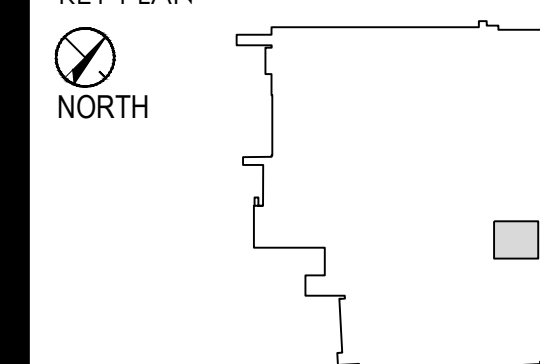
2026.JUN.09



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KEY PLAN



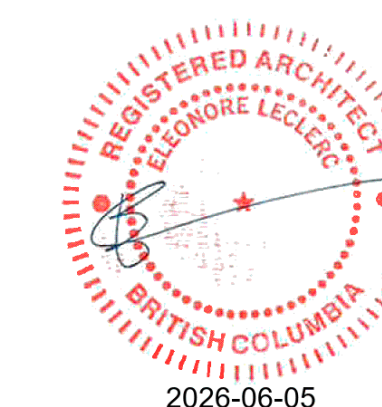
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Revision	By	Appd	YYYY.MM.DD	
F	ISSUED FOR CONSTRUCTION	EM	EL	2026.06.09
E	ISSUED FOR TENDER	EM	EL	2026.03.20
D	ISSUED FOR BP	EM	FJF	2026.02.20
C	ISSUED FOR PRE TENDER REVIEW	EM	FJF	2026.02.20
B	ISSUED FOR DESIGN DEVELOPMENT	EM	FJF	2026.01.23
A	ISSUED FOR ICH	EM	FJF	2025.08.29

Issued	By	Appd	YYYY.MM.DD

File Name: N/A	BS	BS	IF	2022.10.21
	Dwn.	Dgn.	Chk.	YYYY.MM.DD

Permit/Seal



Client/Project Logo



Client/Project

Northern Health

UHN - Lab Histology Ventilation Upgrade

1475 Edmonton St, Prince George, BC V2M 1S2

Title

SAFETY PLAN AND PHASING

Project No. 115625050	Scale AS INDICATED
Revision	Drawing No. A-100

- NOTE:**
- COORDINATE WITH OWNER WORKING HOURS. AFTER WORK HOURS WHEN LAB / SOILED ROOM IS NOT IN USE TO AVOID SCHEDULES DELAY DURING CONSTRUCTION
 - PHASING 1, 2, 3 IS REQUIRED TO BE ONE AT THE TIME TO NOT SUSPEND LAB OPERATION WORK OR ACCESS ON SITE TO OCCUR AFTER LAB WORK (4pm - 7am)
 - HOARDING TO BE COORDINATED AS PER INFECTION CONTROL REQUIREMENT AND APPROVED PATH OF ACCESS
 - PORTABLE HOARDING ON LEVEL 1 FOR CEILING ACCESS TO BE USED ONLY AFTER REGULAR OPERATING HOURS, COORDINATE WITH OWNER WORK SCHEDULE
 - CLEANING SITE AREA AFTER WORK TO AVOID ANY CONTAMINATION IN THE LAB / SOILED ROOM

LEGEND:

- HOARDING LINE (TYPE OF HOARDING TO BE DEFINE BY GC AND OWNER BASED ON EXISTING SITUATION. ZIP WALL SYSTEM OR HARD WALL SYSTEM TO MEET C.S.A & INFECTION CONTROL REQUIREMENT)
- EXIT PATH
- CONTRACTOR PATH
- ELECTRICAL ROUTE ABOVE THE CEILING
- PHASE 1 - HOARDING ONLY FOR THE CHEMICAL STORAGE 0130A WITHOUT BLOCKING GROSS ROOM DOOR 0130
- PHASE 2 - HOARDING TO COVER ONLY SMALL GROSS ROOM 0130 AND PORTION OF CORRIDOR
- PHASE 3 - EXTEND HOARDING FOR GROSS ROOM 0129 TO MAIN DOUBLE DOOR
- PORTABLE HOARDING HEPA / COLLAPSIBLE SYSTEM FOR WORK IN THE CEILING THAT CAN BE REMOVED DURING REGULAR WORKING HOURS
- OUTSIDE SCOPE OF WORK

MATTERPORT LINK:
<https://my.matterport.com/show/?m=cwkgxZNErWu>
SOILED ROOM
Pass: 115625020

MATTERPORT LINK:
<https://my.matterport.com/show/?m=fzgzAnMpAVoq>
HISTOLOGY LAB
Pass: 115625020



1 SAFETY PLAN & PHASING CONSTRUCTION
A-100 1:100

4. Building Characteristics

The building will have the following characteristics:

Building Area	13503m ²
Height (Storeys)	5
Sprinklered	Sprinklered
Construction Type	Combustible and Noncombustible

5. Building Classification (BCBC 2024)

Based on building characteristics established above, the applicable construction Article and construction requirements of Subsection 3.2.2.2 are as follows:

USE / OCCUPANCY

Construction Article 3.2.2.38

Building Area (m²)

Permitted	Unlimited
Actual	13503m ²

Project Area

Building Height (storeys) 5

Type of Construction Noncombustible

Sprinklered	Yes
Floor Assembly Fire Rating	2 Hr.
Mezzanine Fire Rating	1 Hr.
Roof Fire Rating	NA
Structural Assembly Fire Rating	Same as Supported Assembly

6. Requirements Specific to Care, Treatment or Detention Occupancies

Article 3.3.3 describes requirements for care, treatment, and detention occupancy. The scope of this project does not impact any Care, Treatment, or Detention spaces.

7. Fire Separations and Enclosures

Fire separations will be provided based on the requirements of Sections 3.3, 3.4 and 3.6 as follows:

Fire Separation	FRR (hours)
Janitor room	1
Service rooms with fuel fire appliance	1
Service rooms essential to fire safety systems	1
Service rooms with limited-service equipment	Unrated

10. Limits for Single Egress Door

As permitted by Article 3.3.1.5, rooms may be served by a single egress door provided:

- maximum occupant load of 60 persons.
- maximum travel distance to the single egress door 45m when Group B-2.
- maximum area of room 107m²

11. Exits

The floor area being finished (scope of this work) is served by three stair exits leading directly to the exterior and one horizontal exit. Travel distance will comply with the 45m limit described in Sentence 3.4.2.5.(1).

12. Electromagnetic Locks at Exits

Exit doors are permitted to be equipped with electromagnetic locks in a building equipped with a fire alarm system provided the cumulative delay in the access to exit does not exceed 15s. Provisions for the installation of electromagnetic locks are found in Sentence 3.4.6.16.(4). Key design features are summarized as below:

- Building equipped with a fire alarm system.
- Locking device release on fire alarm.
- Locking device release on loss of power.
- Locking device release on activation of a switch accessible to authorized personnel.
- A force of 90N applied to door hardware initiates release of the door within 15s.
- Following release, locking device remains released and must be reset manually by actuation of referenced in item 4.
- Signage describing the 15s delay is fixed to the door.

15. Emergency Power and Lighting

Subsection 3.2.7 requires both emergency power and emergency lighting for various systems and/or floor areas of the project.

Emergency power will be supplied to:

- fire alarm and detection systems.
- emergency lighting and exit signs (if provided).

Emergency power supply for the fire alarm system will be capable of providing supervisory power for not less than 24h, and immediately following that period, emergency power under full load for not less than 30min. Transfer to emergency power will occur automatically upon failure of the regular power supply with emergency lighting designed to meet the requirements of Subsection 3.2.7, providing an average level of 10lx, but not less than 1lx at floor level. The following areas will require emergency lighting:

- All service rooms.
- Doors equipped with electromagnetic locks.

16. Fire Department Access / Provisions

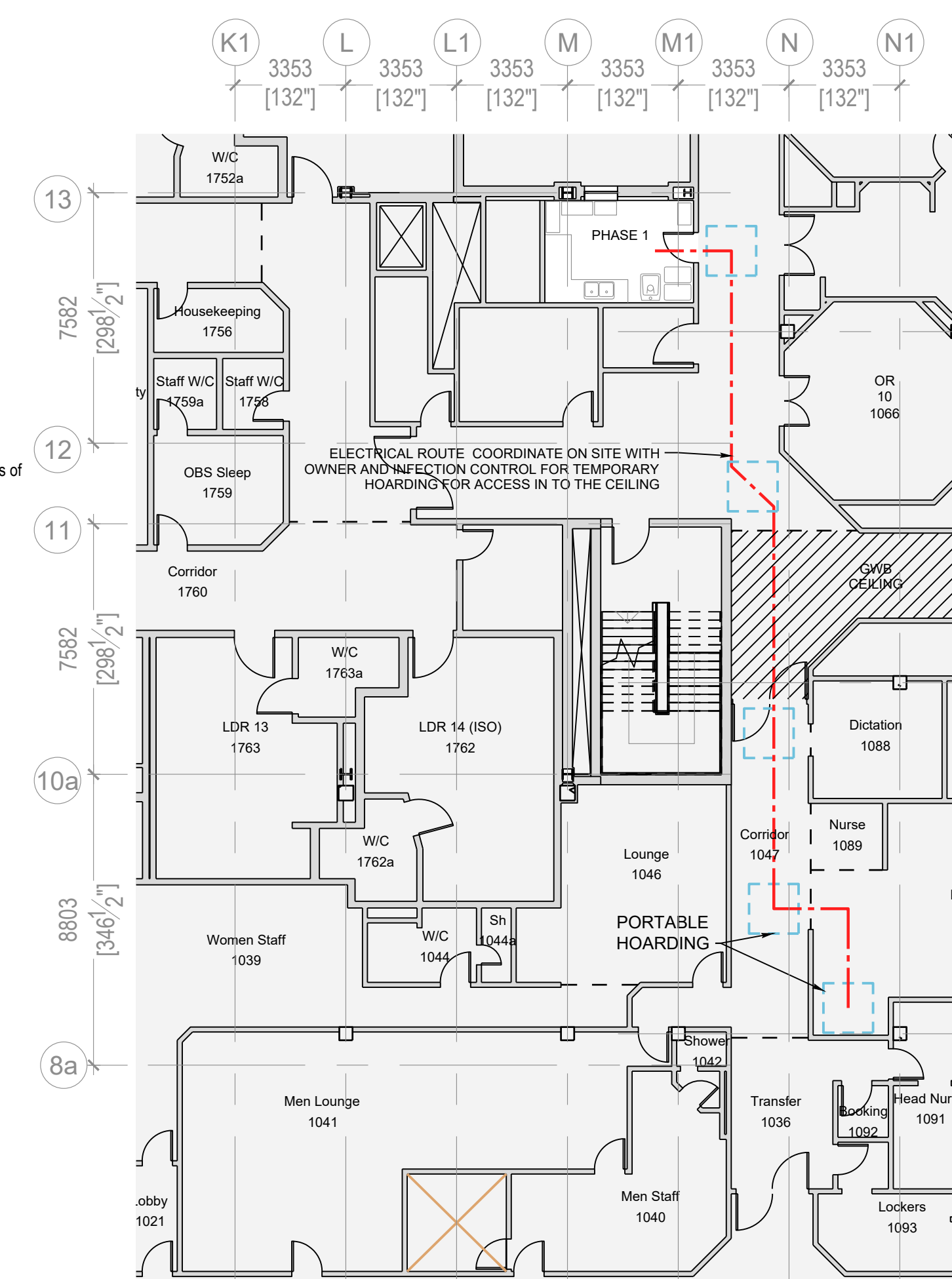
The project is required to have an access route for firefighting vehicles, per Sentence 3.2.5.4.(1). There are no changes proposed to the existing access route

NOTE:

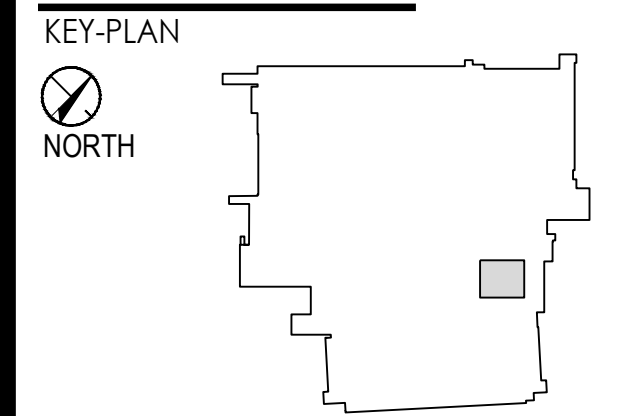
COORDINATE WITH OWNER ALL WORK IS TO BE PERFORMED AFTER HOURS OR DURING APPROVED WORKING PERIODS DUE TO LIMITED ACCESS IN THE OR AREA. (11PM - 7AM)

FULL PPE IS REQUIRED FOR ANY PERSONNEL ACCESSING THE AREA.

THE WORK AREA SHALL BE CLEANED AND RESTORED DAILY IN ACCORDANCE WITH OWNER REQUIREMENTS AND INFECTION CONTROL PROTOCOLS.



2 HOARDING PLAN - SOILED ROOM LEVEL 2
A-100 1:150



Notes

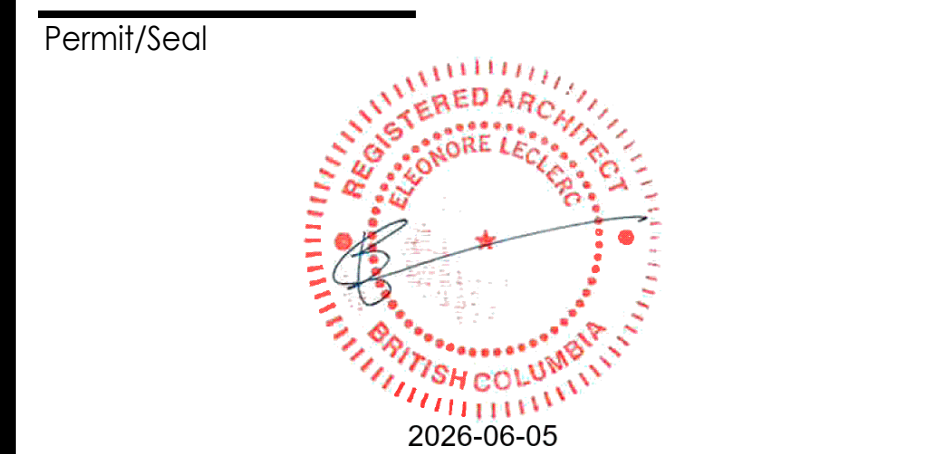
DEMOLITION NOTES:

- PATCH AND REPAIR MAKE GOOD OF EXISTING FLOOR AS NOTED. REMOVE RUBBER BASE AND ADHESIVES WITHIN THE AREA OF RENOVATION. LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES AND FLOOR SCRAPING AS NEEDED. REMOVE LOOSE FLOOR LEVELING COMPOUND AS REQUIRED. ALL LOOSE DEBRIS TO BE REMOVED FROM FLOOR PRIOR TO START OF RENOVATION WORK. REFER TO RENOVATION PLANS FOR COORDINATION. REFER TO ASBESTOS REPORT FOR ASBESTOS CONTAINING MATERIALS PRIOR TO DEMOLITION.
- EXISTING WALL PROTECTION TO BE REMOVED AND REPLACED TO MATCH EXISTING. MAKE GOOD OF EXISTING WALLS AFTER GWB CUTS FOR NEW (MECH. ELEC. PLUM) INSTALLATION. REMOVE CONNECTION DEVICES INCLUDING BOLTS, INSERTS, REINFORCING BARS, TIES, ETC THAT ARE PART OF DEMOLITION. FROM WALLS, CONCRETE SLABS, CEILING AND FROM REMOVED EQUIPMENTS. REFER ALSO TO MECHANICAL / PLUMBING AND ELECTRICAL DEMOLITION DOCUMENTS AND NOTES. REFER TO ASBESTOS REPORT FOR ASBESTOS CONTAINING MATERIALS.
- ALL LOOSE EQUIPMENT AND FURNITURE TO BE REMOVED BY OWNER PRIOR TO START OF DEMOLITION AND CONSTRUCTION. ANY REMAINING LARGE EQUIPMENT AND FIXED EQUIPMENT TO BE COORDINATED BETWEEN THE OWNER AND CONTRACTOR FOR REMOVAL AND RELOCATION. TURN OVER ANY REMAINING EQUIPMENT TO THE OWNER UPON REQUEST
- REFER TO MECHANICAL AND ELECTRICAL FOR EXTENT OF EXISTING SERVICES TO BE REMOVED. INFILL OPENINGS AS NEEDED.
- SCAN ALL CONCRETE FLOOR SLABS AND WALLS PRIOR TO START OF CONSTRUCTION TO DETERMINE THE EXTENT AND LOCATION OF BURIED SERVICES AS REQUIRED.
- REMOVE EXISTING PLUMBING FIXTURES / PIPES REFER TO MECHANICAL FOR EXTENT OF WORK AND SERVICES TO BE REMOVED / KEPT OR CAP OFF. COORDINATE WITH OWNER FOR SHUTDOWNS
- PROTECT ADJACENT FINISHES DURING DEMOLITION AND CONSTRUCTION. PROVIDE FLOOR AND WALL PROTECTION AS REQUIRED DURING WORK.
- PATCH AND MAKE GOOD ALL DEFICIENT FIRE STOPPING IN AREA OF WORK. FIRE STOP ANY EXISTING PENETRATIONS WHERE EXISTING MECHANICAL OR ELECTRICAL SERVICES ARE REMOVED.
- EXISTING WALL GWB FINISH TO BE CHECKED FOR MOLD AND WATER DAMAGE. REMOVE AND REPLACE DAMAGED AREA
- REMOVE EXISTING MECHANICAL AND ELECTRICAL FIXTURES/DEVICES AS INDICATED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. TERMINATE AND CAP OFF ALL PROJECTING MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS INDICATED TO BE OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS. PATCH AND MAKE GOOD FLOOR AT ALL PENETRATIONS WHERE SERVICES ARE REMOVED AS NEEDED.
- PREPARE MILLWORK TO RECEIVE EYE WASH DRENCH HOSE ON EXISTING SINK
- REMOVE AND REPLACE EXISTING ACT CEILING AFFECTED BY DEMOLITION ACTIVITIES. OR AS NEEDED FOR MECHANICAL AND ELECTRICAL WORK
- HOARDING TYPE HARD / SOFT TO BE CONFIRMED WITH OWNER AND AS PER INFECTION CONTROL REQUIREMENT. PRIOR TO HOARDING INSTALLATION CONTRACTOR TO SCHEDULE AND CONFIRM WITH OWNER ACCESS ROUTES AND SECURITY DETAILS HOARDING ON AREAS AND WALLS WITH FIRE SEPARATION TO MATCH EXISTING FIRE RATING
- REMOVE AND REPLACE DAMAGED AND STAINED CEILING TILES IN BOTH GROSSING ROOMS. RE & RE DAMAGED AND STAINED CEILING TILES IN THE MAIN AREA LAB AS NEEDED

Revision	By	Appd	YYYY.MM.DD	
F	ISSUED FOR CONSTRUCTION	EM	EL	2026.06.09
E	ISSUED FOR TENDER	EM	EL	2026.03.20
D	ISSUED FOR BP	EM	FJF	2026.02.20
C	ISSUED FOR PRE TENDER REVIEW	EM	FJF	2026.02.20
B	ISSUED FOR DESIGN DEVELOPMENT	EM	FJF	2026.01.23
A	ISSUED FOR ICH	EM	FJF	2025.08.29

Issued	By	Appd	YYYY.MM.DD

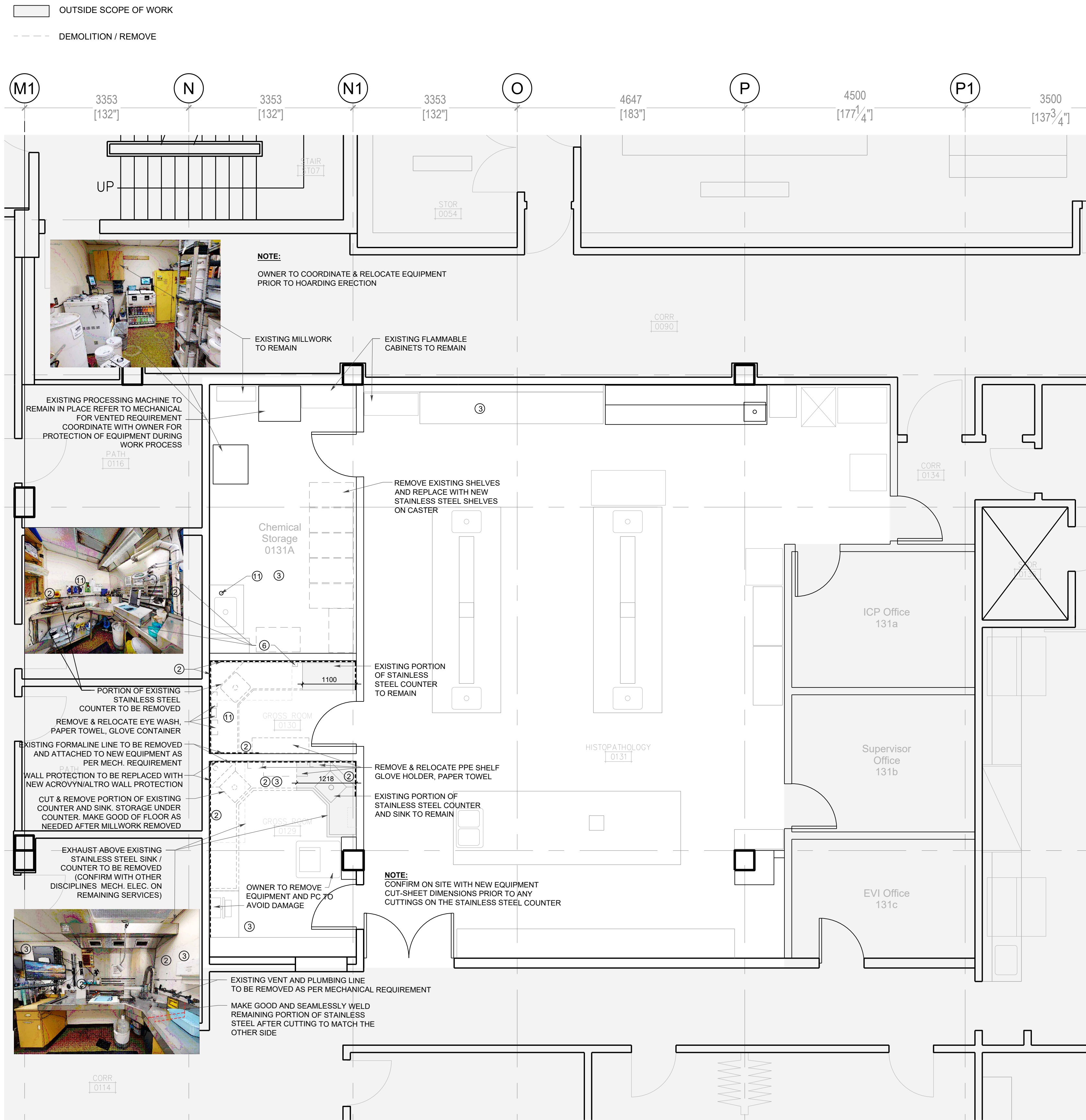
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	Dwn.	Dgn.	Chk.	YYYY.MM.DD



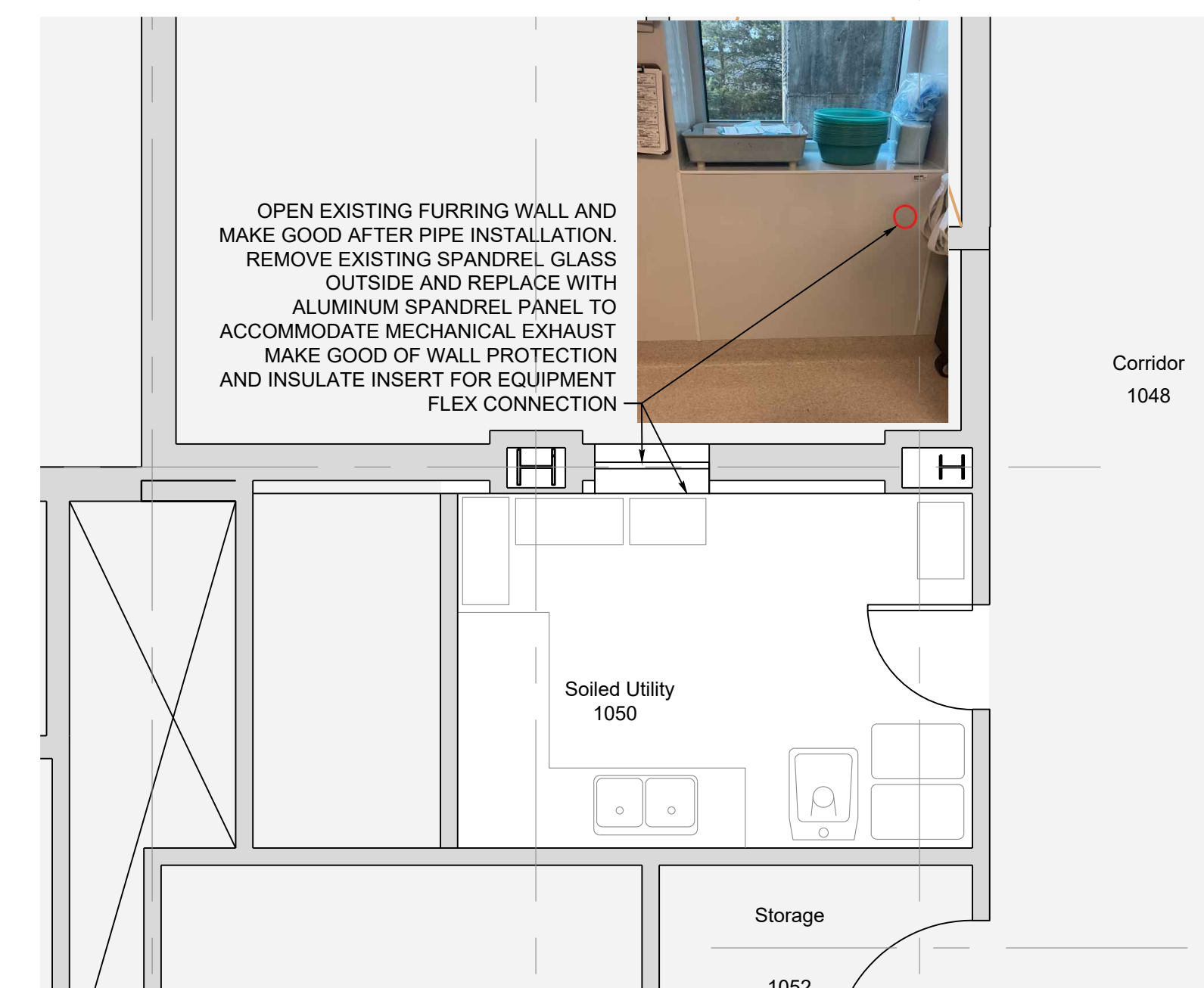
Client/Project
Northern Health
UHN - Lab Histology Ventilation Upgrade

1475 Edmonton St, Prince George, BC V2M 1S2
Title
GROUND FLOOR & LEVEL 1
DEMOLITION FLOOR PLAN

Project No.	Scale
115625050	AS INDICATED
Revision	Drawing No.
	A-200



1 DEMOLITION GROUND FLOOR PLAN - HISTOLOGY LAB
A-200 1:50

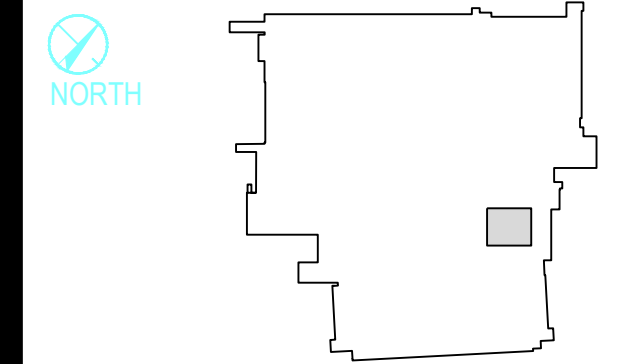


2 DEMOLITION LEVEL 1 - SOILED UTILITY ROOM
A-200 1:50

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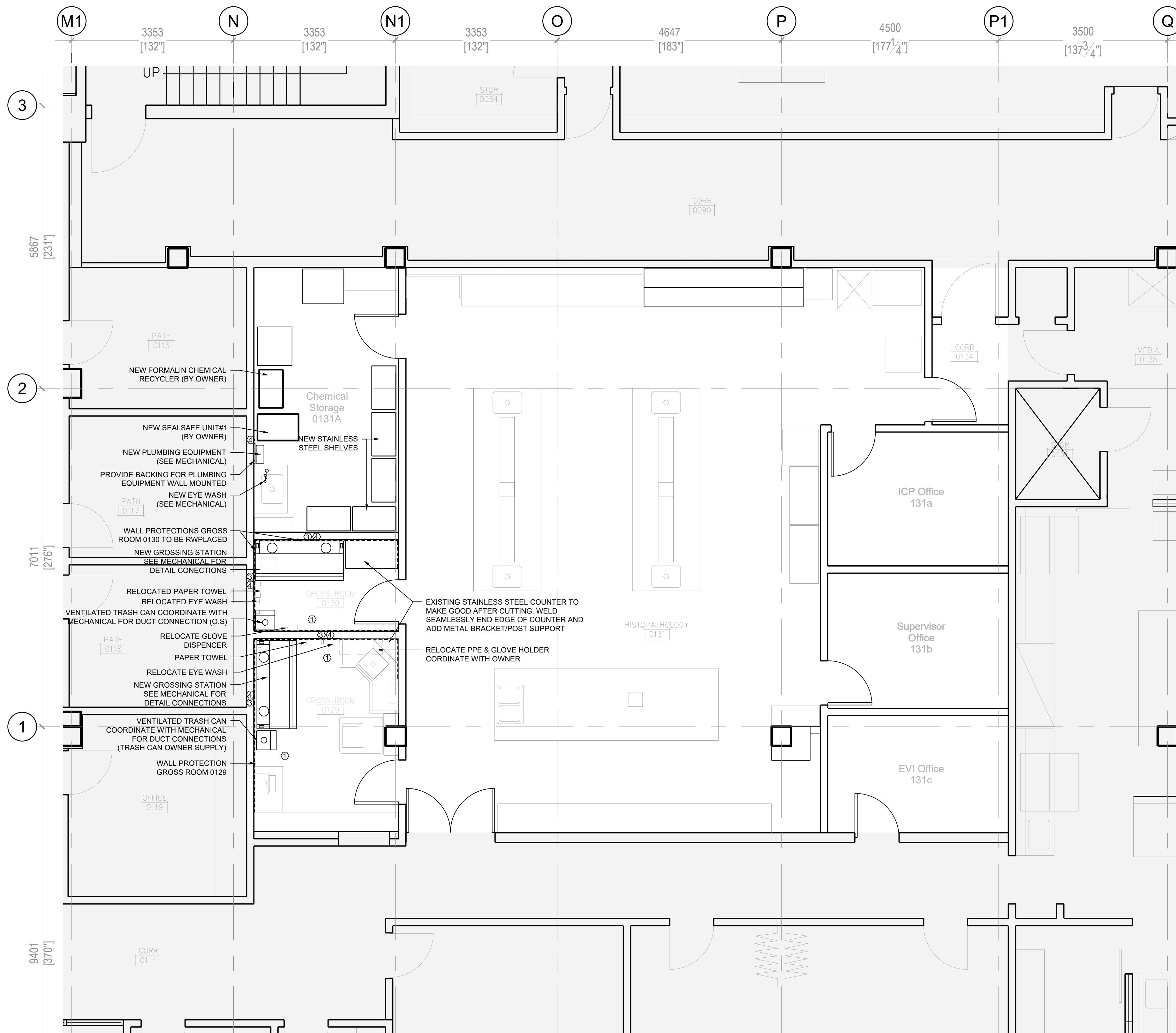
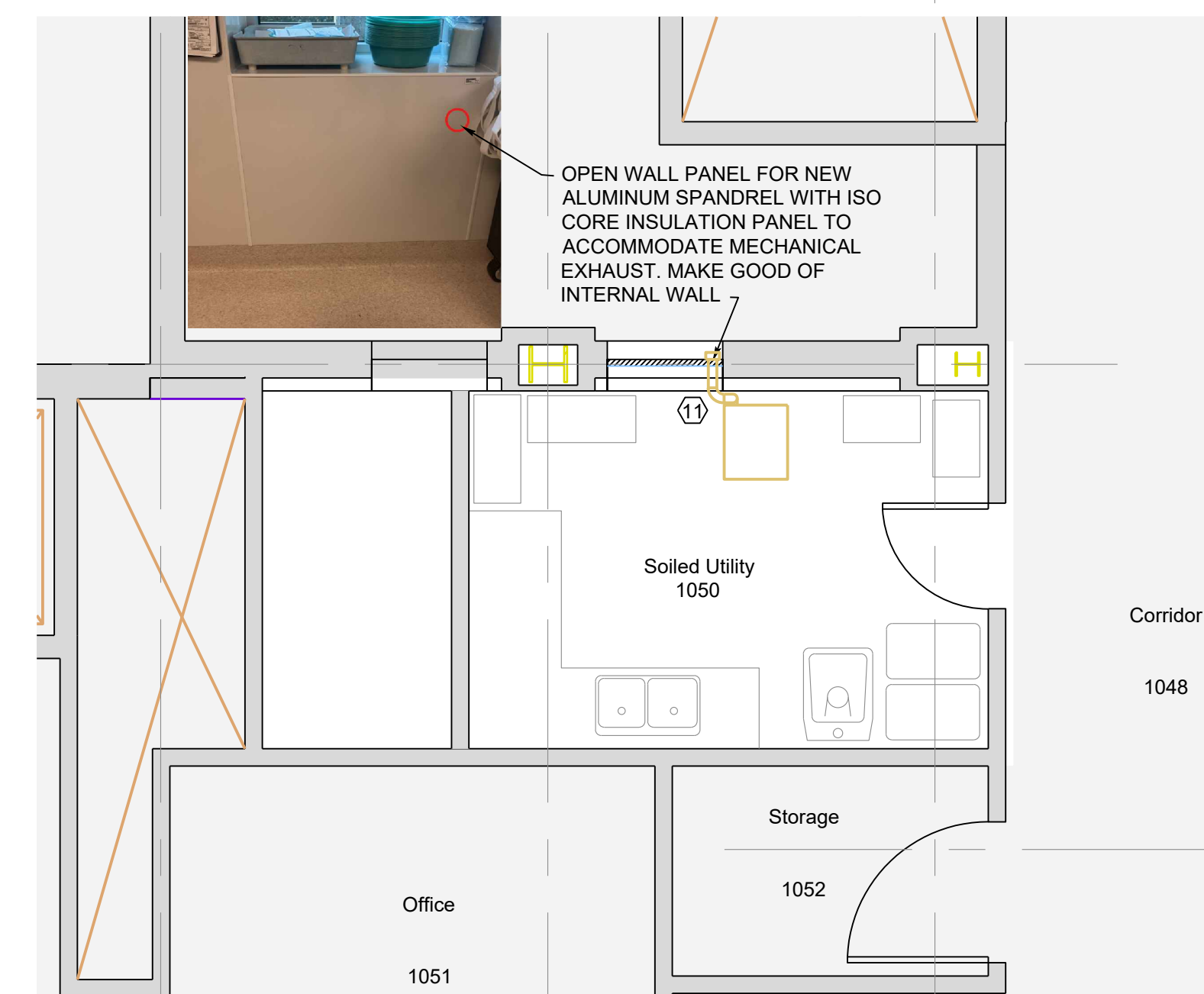
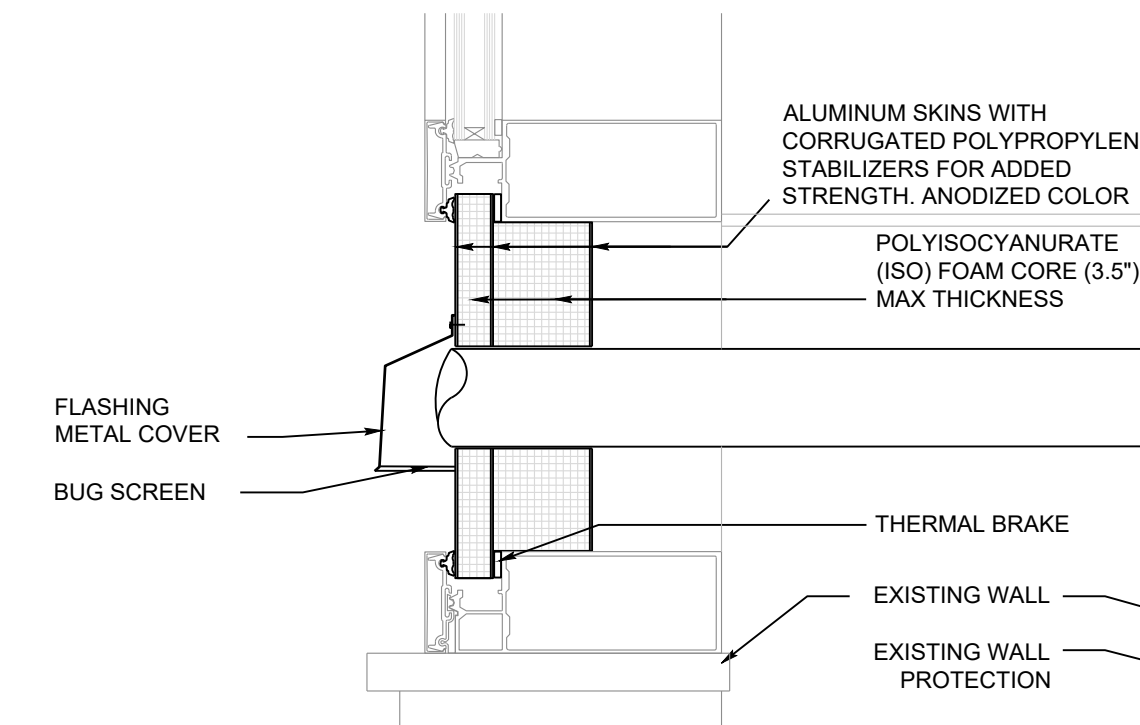
KEY PLAN



Notes

CONSTRUCTION NOTES:

- PATCH AND MAKE GOOD EXISTING FLOOR SLAB PRIOR TO INSTALLATION OF NEW FLOORING. SCRAP ALL LOOSE FLOOR LEVELING COMPOUND, ADHESIVE ETC. PROVIDE NEW LEVELING COMPOUND AS REQUIRED TO FIX FLOOR DISCREPANCIES. NOTE CONTRACTOR IS NOT TO USE PERMANENT MARKER ON FLOOR TO PREVENT INK FORM BLEEDING INTO THE FLOOR. PATCH AND MAKE GOOD SLAB WHERE DOWEL HOLES FROM DEMOLISHED BLOCK WALLS PATCH AND REPAIR VINYL FLOOR TO MATCH EXISTING
- COORDINATE WORK THROUGHOUT RENOVATION AREA WITH MECHANICAL AND ELECTRICAL WORK. WORK TO BE COORDINATED WITH OWNER FOR AFTER LAB WORKING HOURS
- INSTALL WALL PROTECTION AND MAKE GOOD OF EXISTING WALLS PRIOR TO NEW EQUIPMENT INSTALLATION. INSTALL NEW ACROVYN / ALTRO WHITE ROCK FOR NEW WALL PROTECTION BEHIND STAINLESS STEEL COUNTER (SHEET SIZE 1220 X 3050 THICKNESS 2.5MM COLOR WHITE) PAINT WALLS AS NEEDED COLOR TBD
- EXISTING WALLS TO BE REPAIRED AFTER MECHANICAL & PLUMBING INSTALLATION. PATCH AND REPAIR ANY OPENINGS DUE TO EQUIPMENT REMOVAL/ DEMOLITION PRIOR TO INSTALLATION OF NEW EQUIPMENT / MILLWORK.
- ALL FURNITURE AND APPLIANCES THAT NEED TO BE REMOVED OR INSTALLED TO BE COORDINATED WITH OWNER. LAYOUT SHOWN FOR ILLUSTRATION PURPOSES ONLY
- REFER TO MECHANICAL PLANS FOR NEW HVAC AND WATER SERVICE LINE. REFER TO ELECTRICAL DRAWINGS FOR NEW CONDUIT RUNS. RE AND RE FINISHES AS REQUIRED FOR NEW WATER LINE AND CONDUIT INSTALLATION. PATCH AND MAKE GOOD FINISHES DISTURBED BY DEMOLITION AND RENOVATION ACTIVITIES. COORDINATE WORK WITH OWNER ON SITE. PROVIDE FLOOR AND WALL PROTECTION AS REQUIRED DURING RENOVATION AND DEMOLITION WORK.
- SCHEDULE ROUGH-IN REVIEW WITH CLIENT AND CONSULTANT TO REVIEW DEVICE PLACEMENT PRIOR TO BOARDING.
- FOR WALL MOUNTED PPE DISPENSER / EYE WASH OR OTHER ITEM / EQUIPMENT RELOCATED. PROVIDE BACKING AS/IF NEEDED.
- FOR ITEMS TO BE MOUNTED ON EXISTING WALLS WHEN BACKING IS NOT POSSIBLE. PROVIDE HIGH DENSITY POLYETHYLENE BOARD 12.5mm SURFACE MOUNTED. COORDINATE ON SITE WITH OWNER FOR HEIGHTS AND FINAL LOCATION
- REMOVE AND REPLACE TILES IN THE CEILING IN BOTH GROSS ROOMS. REPLACE DAMAGED TILES IN THE CEILING AS NEEDED IN THE LAB AREA TO ACCOMMODATE SERVICES
- REMOVE GLASS SPANDREL AND REPLACE WITH THERMOLITE U-MAX INSULATED PANEL 25mm (1") FOR GLAZING SPACE AND MAX 91mm (3.5") THICKNESS INTERNAL LAYER INSULATION IN THE SOILED ROOM 1050



1 PROPOSED GROUND FLOOR PLAN - HISTOLOGY LAB
A-300 1:50

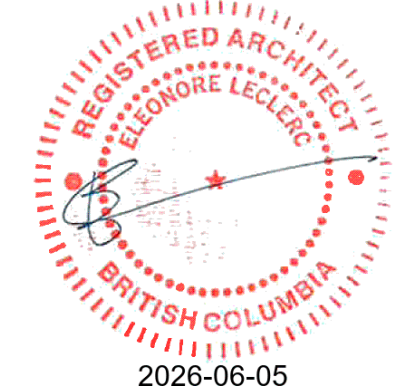
2 PROPOSED LEVEL 1 - SOILED UTILITY ROOM
A-300 1:50

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F	ISSUED FOR CONSTRUCTION	EM	EL	2026.06.09
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A	ISSUED FOR ICH	EM	FJF	2025.08.29

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File Name: N/A BS BS TF 2022.10.21
Dwn. Dgn. Chkd. YYYY.MM.DD

Permit/Seal



Client/Project Logo



Client/Project

Northern Health

UHN - Lab Histology Ventilation Upgrade

1475 Edmonton St, Prince George, BC V2M 1S2

Title

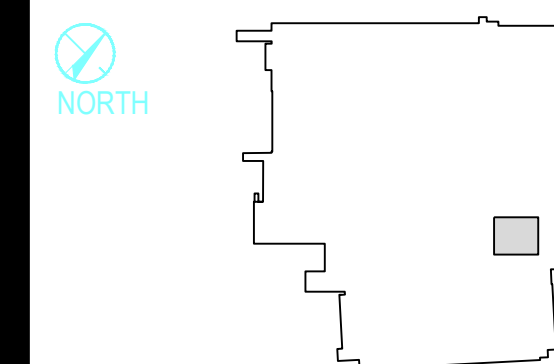
PROPOSED FLOOR PLAN
GROUND FLOOR PLAN & LEVEL 1

Project No. 115625050 Scale AS INDICATED
Revision Drawing No. A-300

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KEY-PLAN



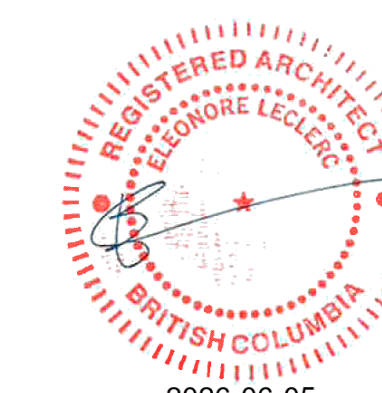
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A	ISSUED FOR ICH	EM	FJF	2025.08.29

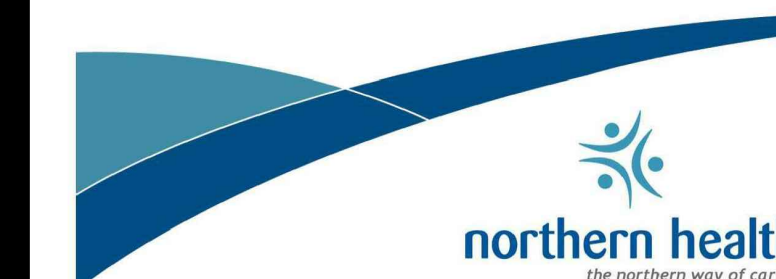
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File Name: N/A	BS	BS	IF	2022.10.21
	Dwn.	Dgns.	Chkd.	YYYY.MM.DD

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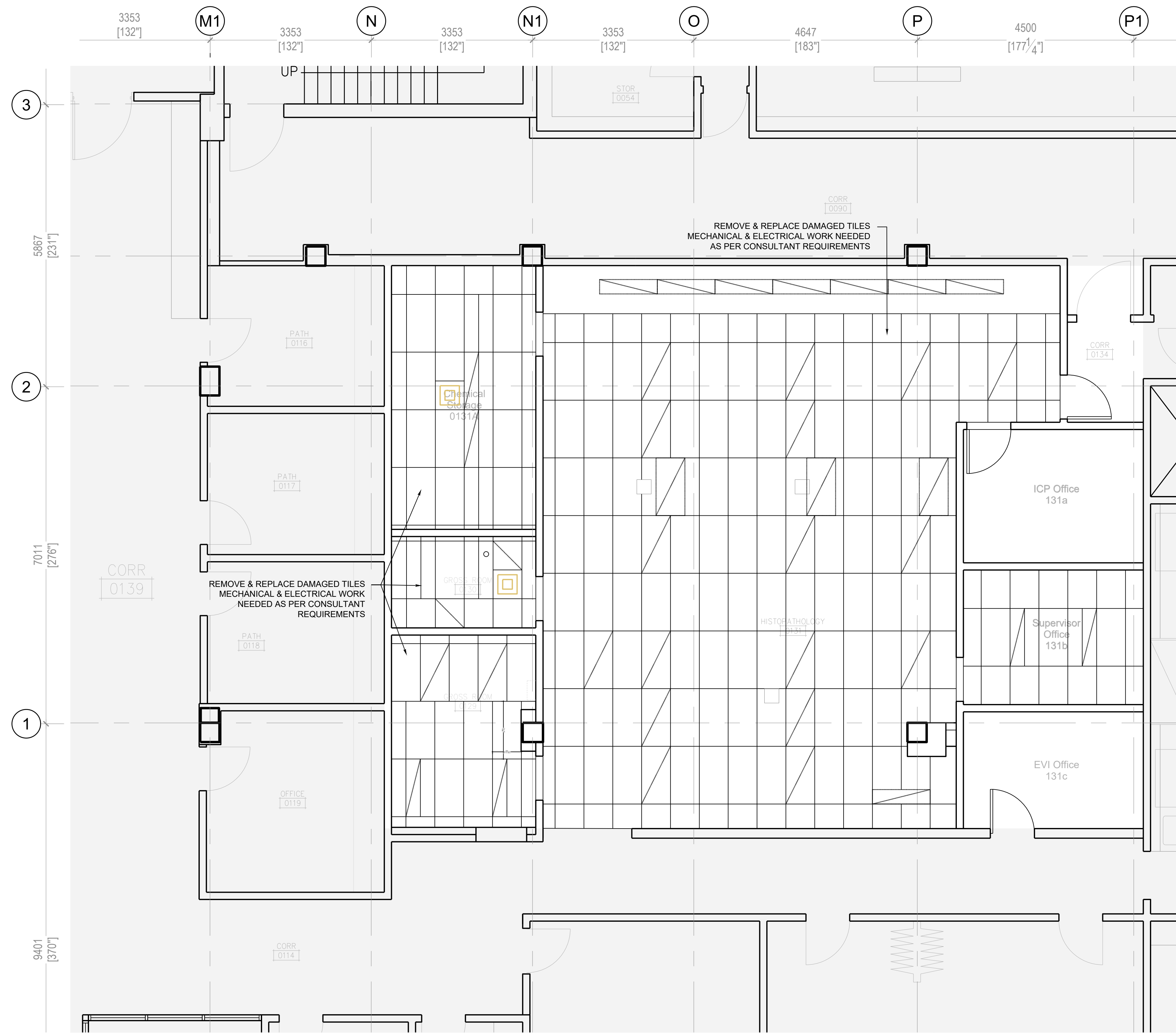
Client/Project

Northern Health
UHN - Lab Histology Ventilation Upgrade

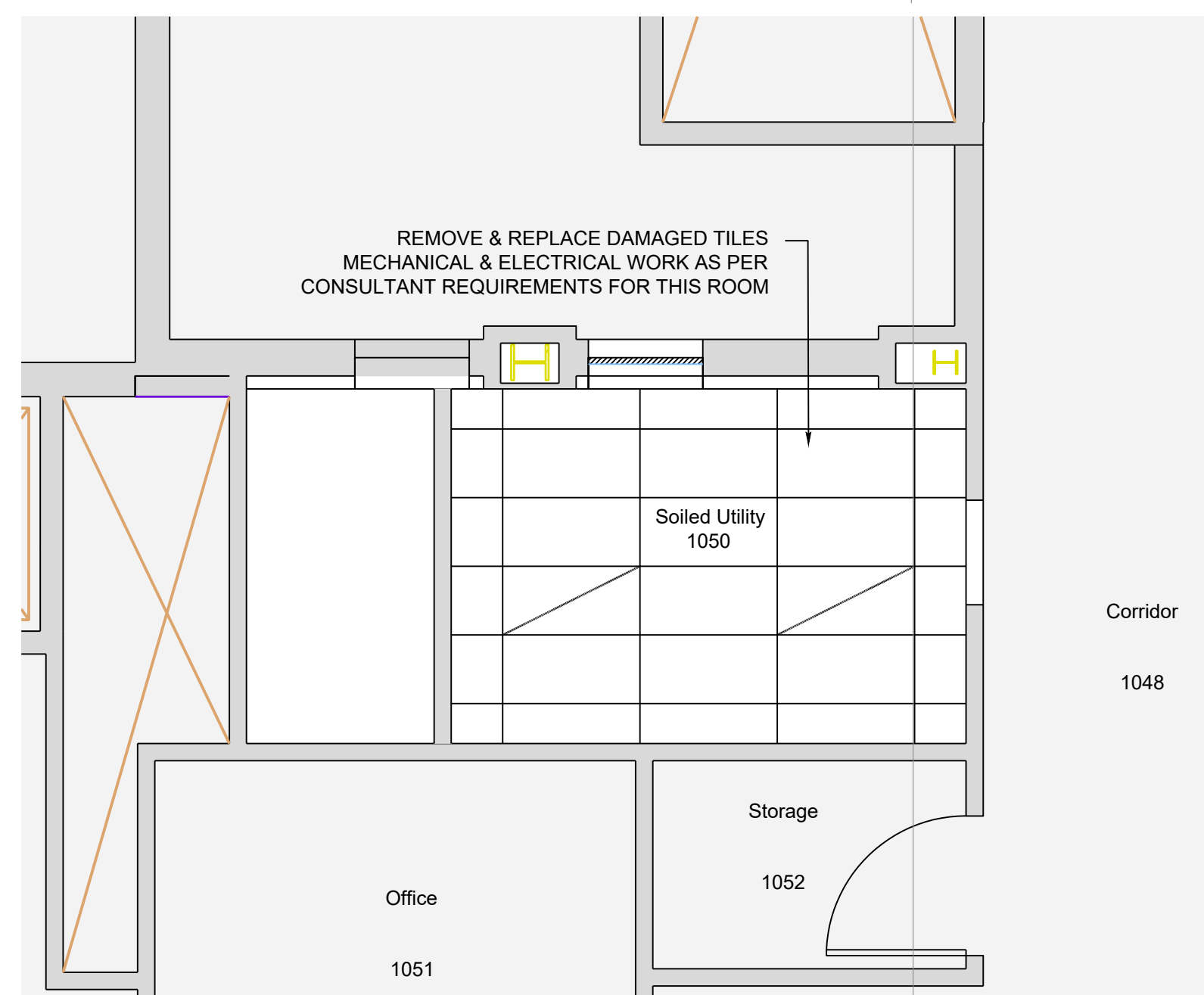
1475 Edmonton St, Prince George, BC V2M 1S2

Title
**REFLECTED CEILING PLAN
GROUND FLOOR & LEVEL 1**

Project No.	Scale
115625050	AS INDICATED
Revision	Drawing No.
	A-400



1 REFLECTED CEILING PLAN HISTOLOGY LAB
A-400 1:50



2 REFLECTED CEILING PLAN - SOILED UTILITY
A-400 1:50

12a

