



1475 EDMONTON ST, PRINCE GEORGE BC0 V2M 1S2

1475 EDMONTON ST,
PRINCE GEORGE V2M 1S2

PID: 030-387-884
LOT A, PLAN EPP61360, DISTRICT LOT 343, CARIBOO
LAND DISTRICT, EXCEPT PLAN EPP61362
ZONING: P3 & P7

THE PROJECT INCLUDES INSTALLATION OF NEW CT SCAN MACHINE AT THE CT SCAN ROOM #1; INCLUDING STRUCTURAL, ELECTRICAL AND MECHANICAL UPGRADES

CLIENT
NORTHERN HEALTH AUTHORITY
299-300 VICTORIA STREET,
PRINCE GEORGE, BC, V2L 5B8

PROJECT MANAGER:
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J. ROBERT THIBODEAU ARCHITECTURE + DESIGN INC.
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ELECTRICAL ENGINEER:
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PROJECT NORTH

1
A000

KEY PLAN

SCALE: N.T.S.

AREA OF WORK

EXISTING CT SCAN MACHINE



1. THE CONTRACTOR SHALL REVIEW EXISTING SITE CONDITIONS AND COMMUNICATE ANY DISCREPANCIES WITH THIS DRAWING TO THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK. NO CLAIM WILL BE ENTERTAINED THAT IS BASED ON ANY EXISTING SITE CONDITIONS THAT COULD REASONABLY HAVE BEEN ASCERTAINED BY CAREFUL EXAMINATION OF THE SITE.
2. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL EXISTING SURFACES AND CONDITIONS, AND OBTAIN ALL INFORMATION CONCERNING PORTIONS TO BE DEMOLISHED OR PARTIALLY DEMOLISHED. CONTRACTOR SHALL ALSO CHECK AND NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES WITH THE DIMENSIONS ON THE PLANS. IN NO CASE SHALL DIMENSIONS BE SCALED FROM THIS DRAWING.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NOT TO CAUSE DAMAGE TO BASE BUILDING SURFACES AND FINISHES, AND SHALL CAREFULLY PROTECT ADJACENT SURFACES AND FURNISHINGS THAT MAY BE SUBJECT TO DAMAGE. ANY DAMAGES CAUSED BY WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE ARCHITECT'S SATISFACTION.
4. CONTRACTOR SHALL PROTECT ELEMENTS TO BE REUSED. ANY ELEMENT DAMAGED DURING REMOVAL OR DEMOLITION WORK SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. BEFORE WORK BEGINS, CONTRACTOR SHALL CONSULT WITH THE FACILITY MANAGER FOR STORAGE OF ELEMENTS THAT ARE TO BE REUSED. ANYTHING DEEMED SALVAGEABLE BY BUILDING OWNER SHALL BE KEPT AND PLACED IN STORAGE.
6. ALL NON-REUSABLE ITEMS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS AND SENT TO APPROPRIATE RECYCLING OR DISPOSAL FACILITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PREPARATION OF ALL NEW AND EXISTING SURFACES IN A SATISFACTORY MANNER TO RECEIVE NEW WORK. THIS INCLUDES CLEANING, PRE-TREATMENT, OR DEMOLITION AND REMOVAL OF NECESSARY ITEMS. TOUCH-UP AND/OR REFINISH OF SURFACES DAMAGED BY SUBSEQUENT WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION METHODS.
8. ALL TRANSITIONS BETWEEN EXISTING AND NEW WORK MUST BE SMOOTH AND LEVEL.
9. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS.

THE LATEST VERSION OF BC BUILDING CODE 2024 APPLIES TO THIS PROJECT.

OCCUPANCY:
GROUP B-2
THE BUILDING IS SPRINKLERED AND NON-COMBUSTIBLE CONSTRUCTION.

FLOOR AREA: NO CHANGE
OCCUPANT LOAD: NO CHANGE

TRAVEL DISTANCE: (ART. 3.4.2.5)
MAXIMUM TRAVEL DISTANCE ALLOWED: 40M

IMPORTANT NOTE:
COMPLIANCE OF THE BASE BUILDING WITH CODE REQUIREMENTS
CONCERNING:

- NUMBER OF EXITS AND THEIR EVACUATION CAPACITY
- FIRE INTEGRITY BETWEEN EXISTING USES (FLOOR, WALLS, FIRE SEPARATIONS, ETC) AND,
- THE NUMBER OF WATER CLOSETS REQUIRED

ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE THE RESPONSIBILITY OF THE OWNER. THE PROPOSED SCOPE OF WORK DOES NOT AFFECT THESE ITEMS AND PROPOSES NO CHANGE.

30% CD Review	2026-01-07
60% CD Review	2026-02-13
90% CD Review	2026-07-03
BUILDING PERMIT	2026-07-22
TENDER	2026-08-03

ARCHITECTURAL						
A000	COVER PAGE		●	●	●	●
A001	DOOR SCHEDULE & CONSTRUCTION DETAILS		●	●	●	●
A100	DEMO. & CONSTRUCTION FLOOR PLAN + RCP	●	●	●	●	●
A101	FINISHES DEMO. & CONSTRUCTION PLAN	●	●	●	●	●
A102	MILLWORK DETAILS			●	●	●
ELECTRICAL						
E000	COVER PAGE		●	●	●	●
E010	PARTIAL SINGLE LINE DIAGRAM		●	●	●	●
E020	EXIST. AND NEW POWER & LOW TENSION PLANS	●	●	●	●	●
E025	EXISTING AND NEW LIGHTING PLAN		●	●	●	●
E030	ELECTRICAL DETAILS		●	●	●	●
E031	ELECTRICAL DETAILS			●	●	●
MECHANICAL						
M01	COVER PAGE		●	●	●	●
M02	HVAC PLAN		●	●	●	●
M03	PLUMBING PLAN		●	●	●	●
M04	FIRE SUPPRESSION PLAN		●	●	●	●
STRUCTURAL						
S100	GENERAL NOTES			●	●	●
S201	LEVEL 1 FLOOR PART PLAN		●	●	●	●
S202	LEVEL 2 FLOOR PART PLAN	●	●	●	●	●
S202	SECTIONS AND DETAILS		●	●	●	●

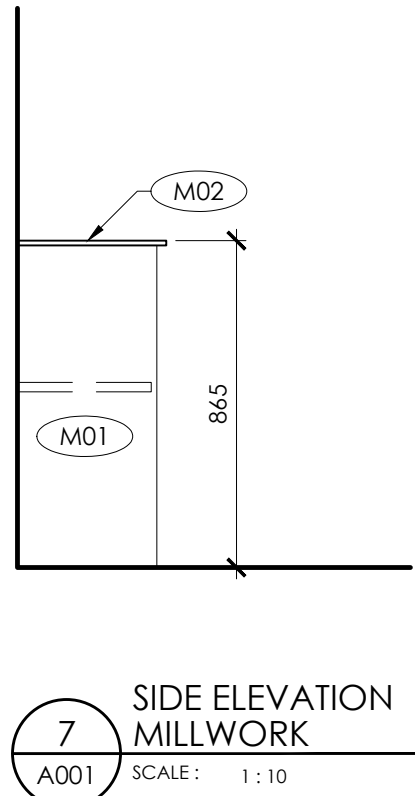
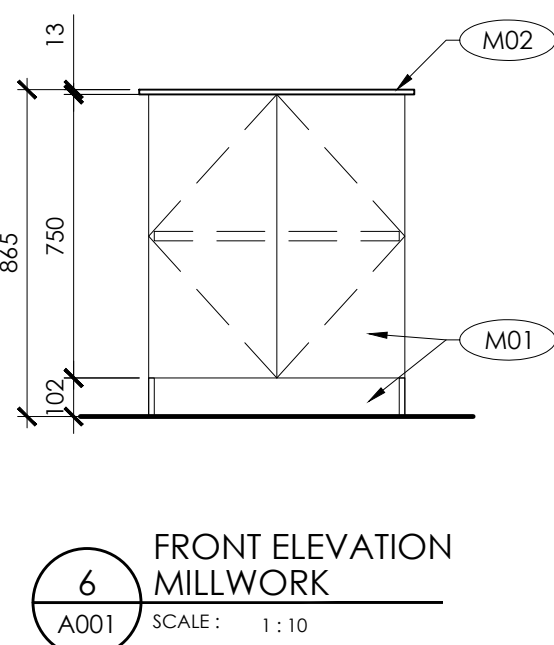
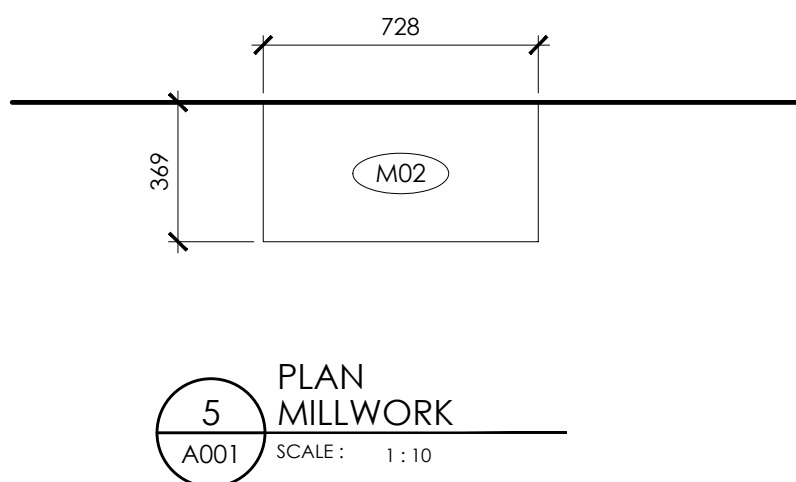
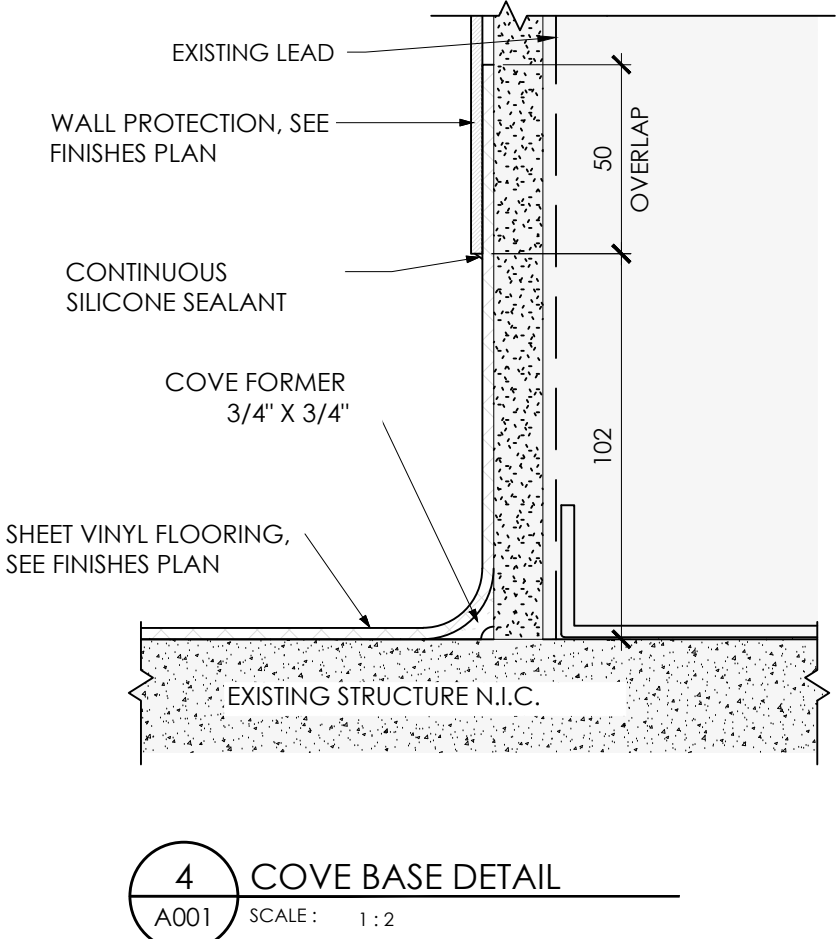
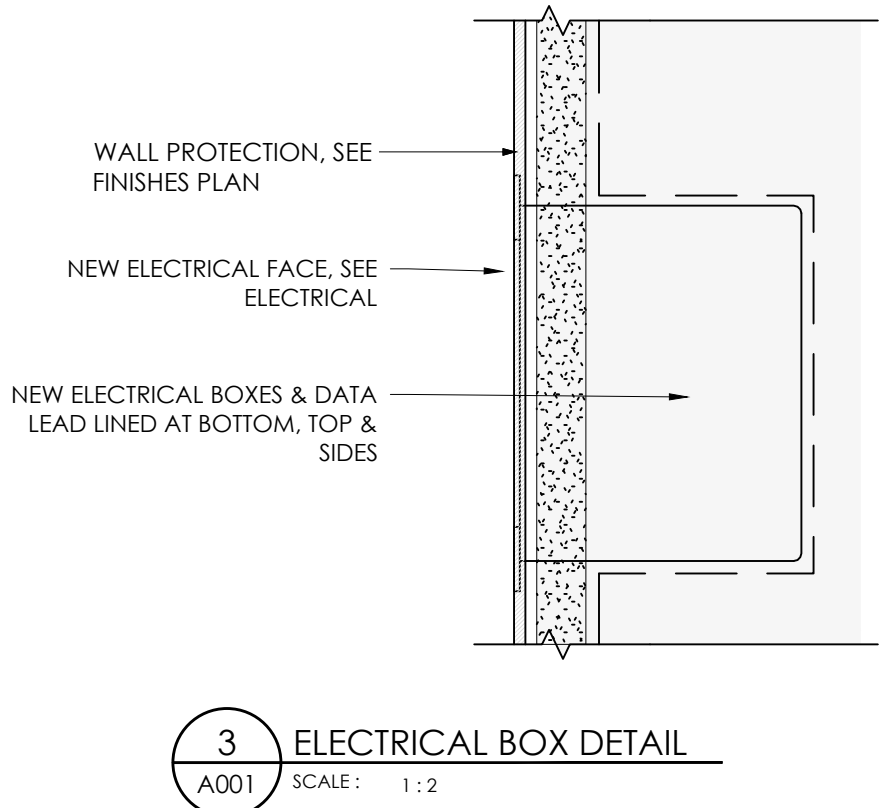
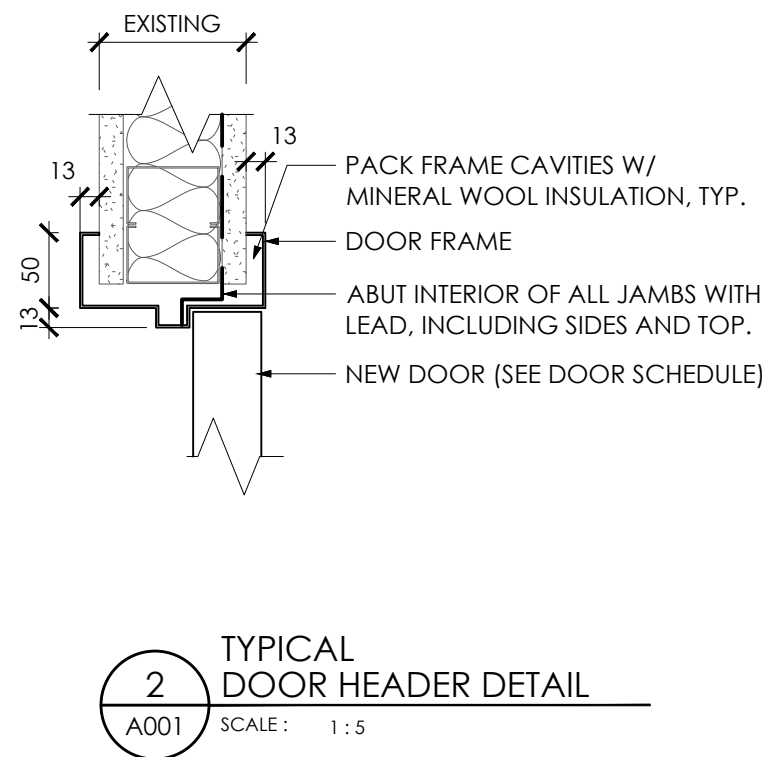
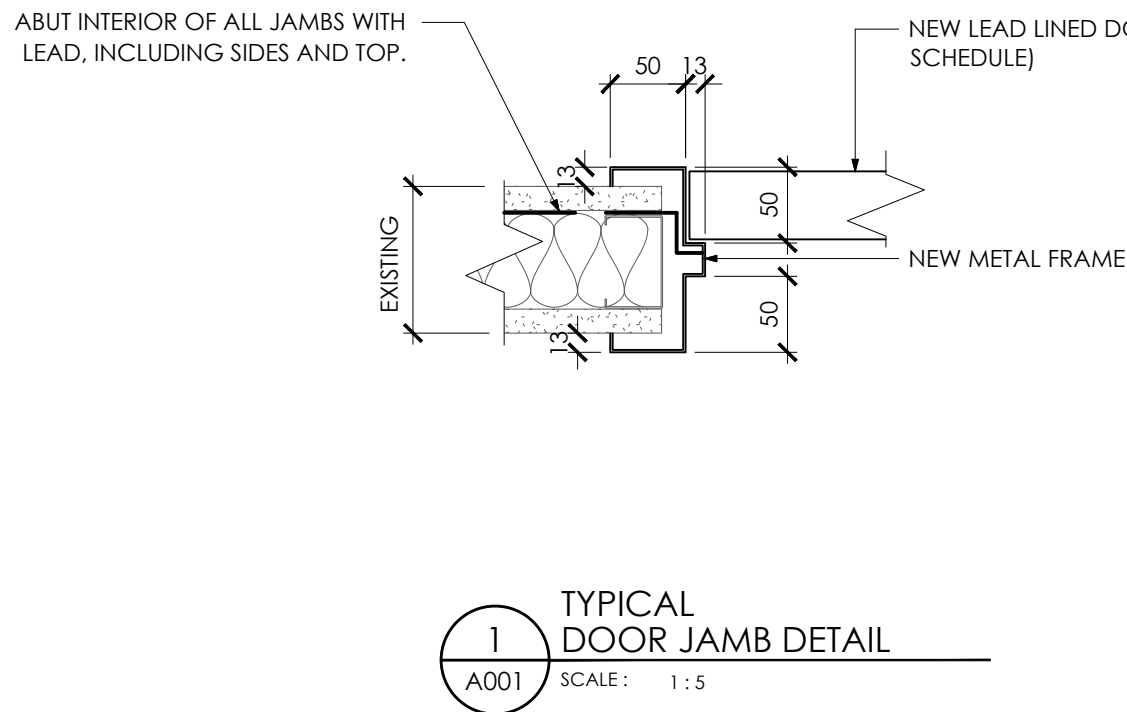
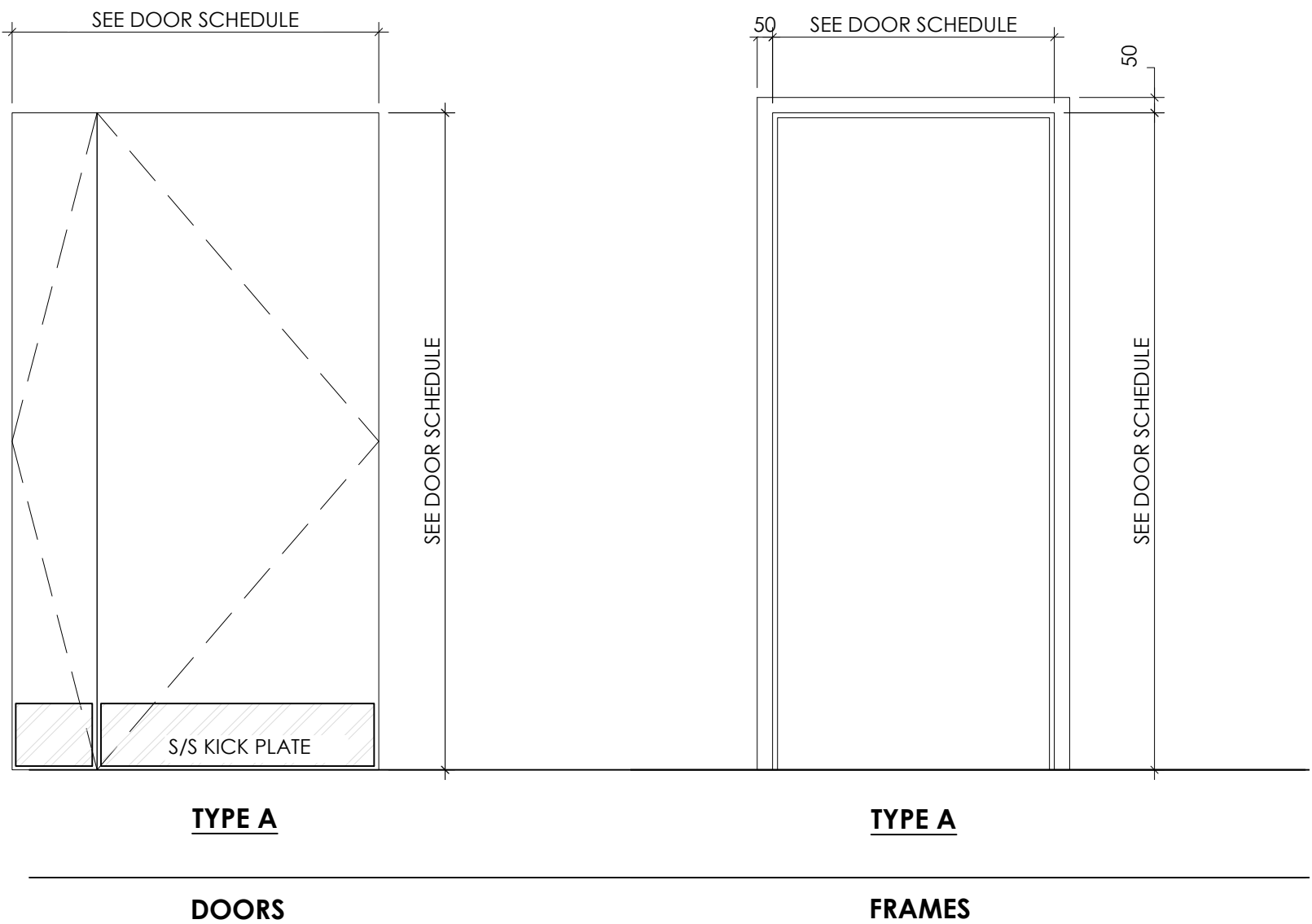
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Plt date: Aug 05, 2026 - 2:57pm
Last saved by: mbeaulieu

DOOR & FRAME SCHEDULE																	
#	TEMPORARY	NEW	RELOCATED	LOCATION			DOOR					FRAME			HARDWARE GROUP	NOTES	
				FROM	TO	SWING	TYPE	MATERIAL	DIMENSIONS			FINISH	TYPE	MATERIAL			FINISH
									WIDTH	HEIGHT	THICK						
D1102				1094	1102	LHRA/RHR	A	SCW	1205/450	2100	45	PTD	A	MTL	PTD	01	LINED WITH 4LB LEAD

- DOOR LEGEND:
- RH RIGHT HAND
 - LH LEFT HAND
 - RHR RIGHT HAND REVERSE
 - LHR LEFT HAND REVERSE
 - OVH OVERHEAD
 - SD SINGLE DOOR
 - DD DOUBLE DOOR
 - SL SLIDING DOOR
 - OV OVER HEAD DOOR
 - PTD PAINTED
 - STD STAINED
 - AND ANODISED
 - TMP TEMPERED GLASS
 - LMT LAMINATED GLASS
 - GL GLASS
 - MTL METAL
 - M+G METAL AND GLASS
 - W+G WOOD AND GLASS
 - SCW SOLID CORE WOOD
 - TMP TEMPERED

HARDWARE SCHEDULE		
GROUP 1		
QTY	DESCRIPTION	FINISH
6	BUTT HINGE	32D
1	OFFICE LOCKSET LEAD LINED	32D
1	CYLINDER	
1	DOOR CLOSER (PUSH SIDE)	32D
1	AUTOMATIC FLUSHBOLT	32D
2	KICKPLATE	32D
2	WALL STOP	32D
2	FRAME PROTECTION	32D
1	DOOR SEAL	BL
2	DOOR SWEEP	AL

- GENERAL NOTES : DOORS & FRAMES
- REFER TO DEMOLITION & CONSTRUCTION PLANS FOR DOOR LOCATIONS.
 - REFER TO SPECIFICATION SECTION 08 71 00 FOR DOOR HARDWARE SCHEDULE.
 - REFER TO ELECTRICAL DRAWINGS FOR DOOR CONTROL DETAILS.
 - CONTRACTOR TO VERIFY DOOR DIMENSIONS ON SITE AND COORDINATE WITH DOOR AND HARDWARE SUPPLIERS.
 - CONTRACTOR TO VERIFY THE DIMENSIONS AND COMPATIBILITY OF RELOCATED ITEMS WITH THE NEW LOCATION.
 - ALL NEW DOORS AND EXISTING FRAMES TO BE PAINTED, UNO.
 - ENSURE LEAD LINING IN DOOR AND WINDOW FRAME LAPS ONTO WALL LINING FOR CONTINUOUS SHIELDING.



- MILLWORK LEGEND
- M01 TYPE: LAMINATE REFER TO SPECIFICATIONS
 - M02 TYPE: SOLID SURFACE COUNTERTOP REFER TO SPECIFICATIONS

architect

THIBODEAU
ARCHITECTURE+DESIGN
Architectural plans, feasible services

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Vancouver Montréal

5	26-08-03	ISSUED FOR TENDER	E
4	26-07-22	BUILDING PERMIT	D
3	26-07-03	90% CD	C
2	26-02-13	60%CD	B
1	26-01-16	30% CD	A

Date Description Rev

Issue

This drawing is the property of J. Robert Thibodeau Architecture + Design. A written approval by J.R.T.A.D. is required prior to any use of this drawing. Contractor must verify all dimensions on site and immediately inform the Architect of all errors and omissions.

BC-1372
UHN- DI CT 64 REPLACEMENT
1475 EDMONTON ST
PRINCE GEORGE, BC- V2M 1S2

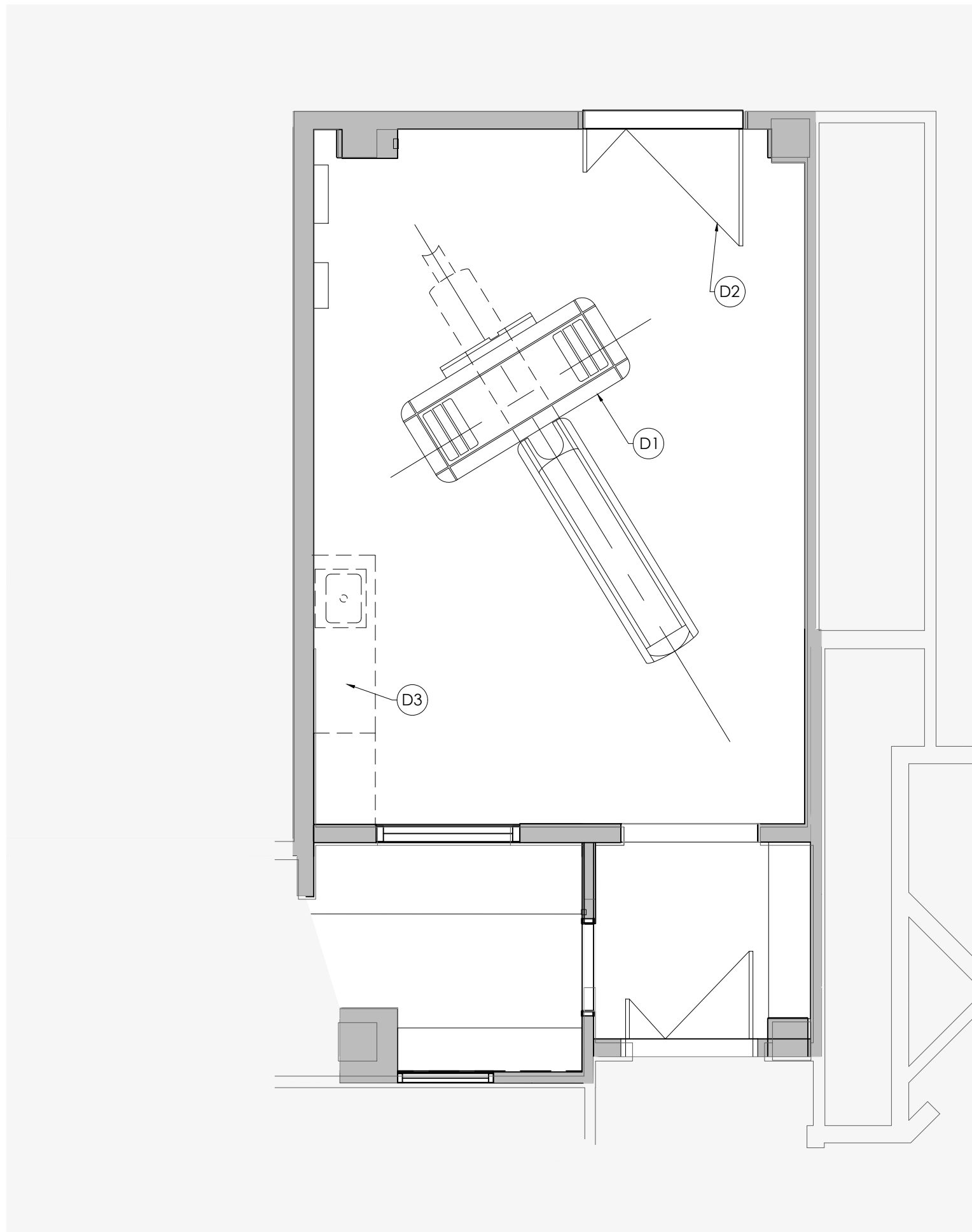
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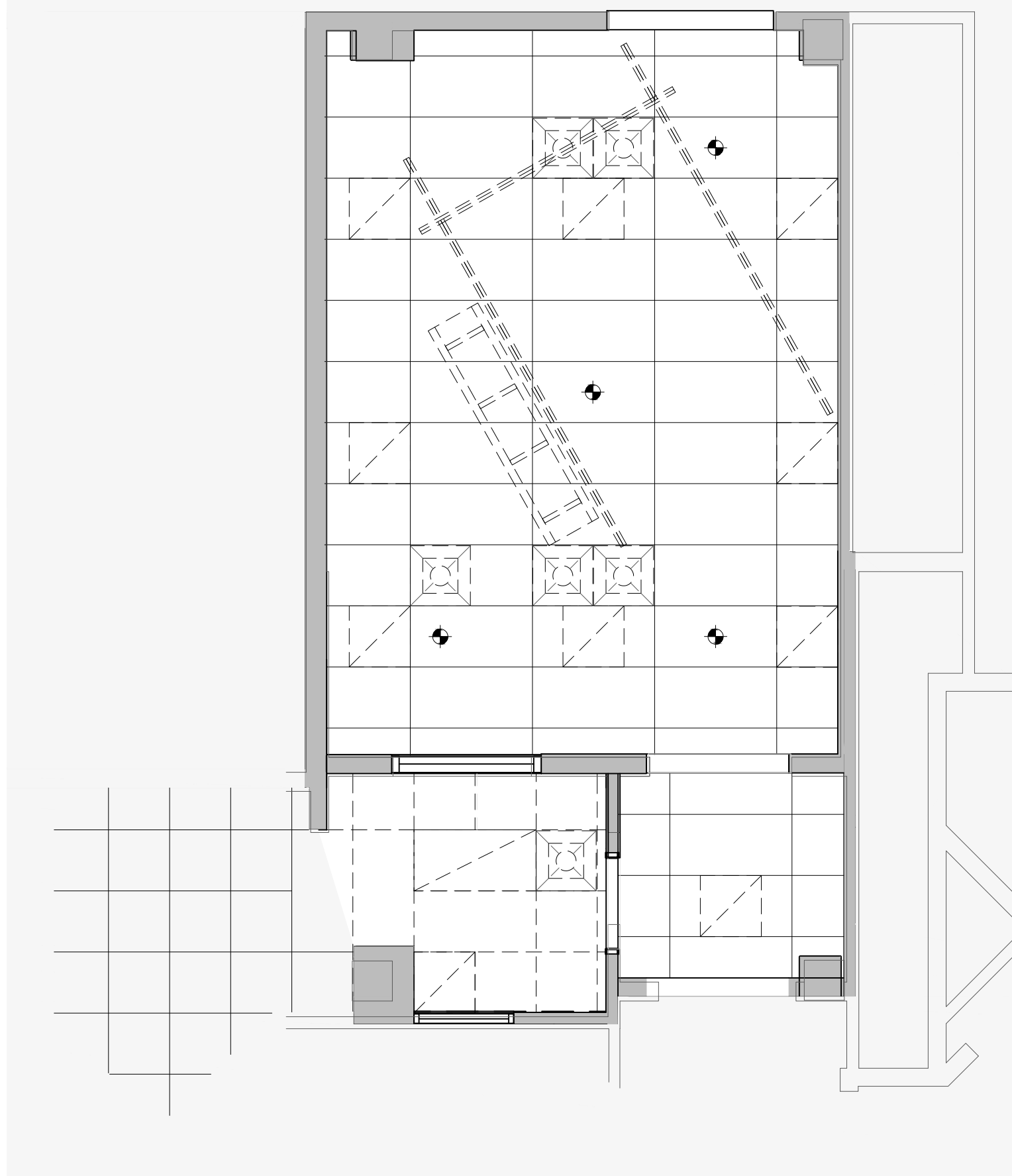
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date 2026-01-07
scale AS SHOWN
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checked by MB

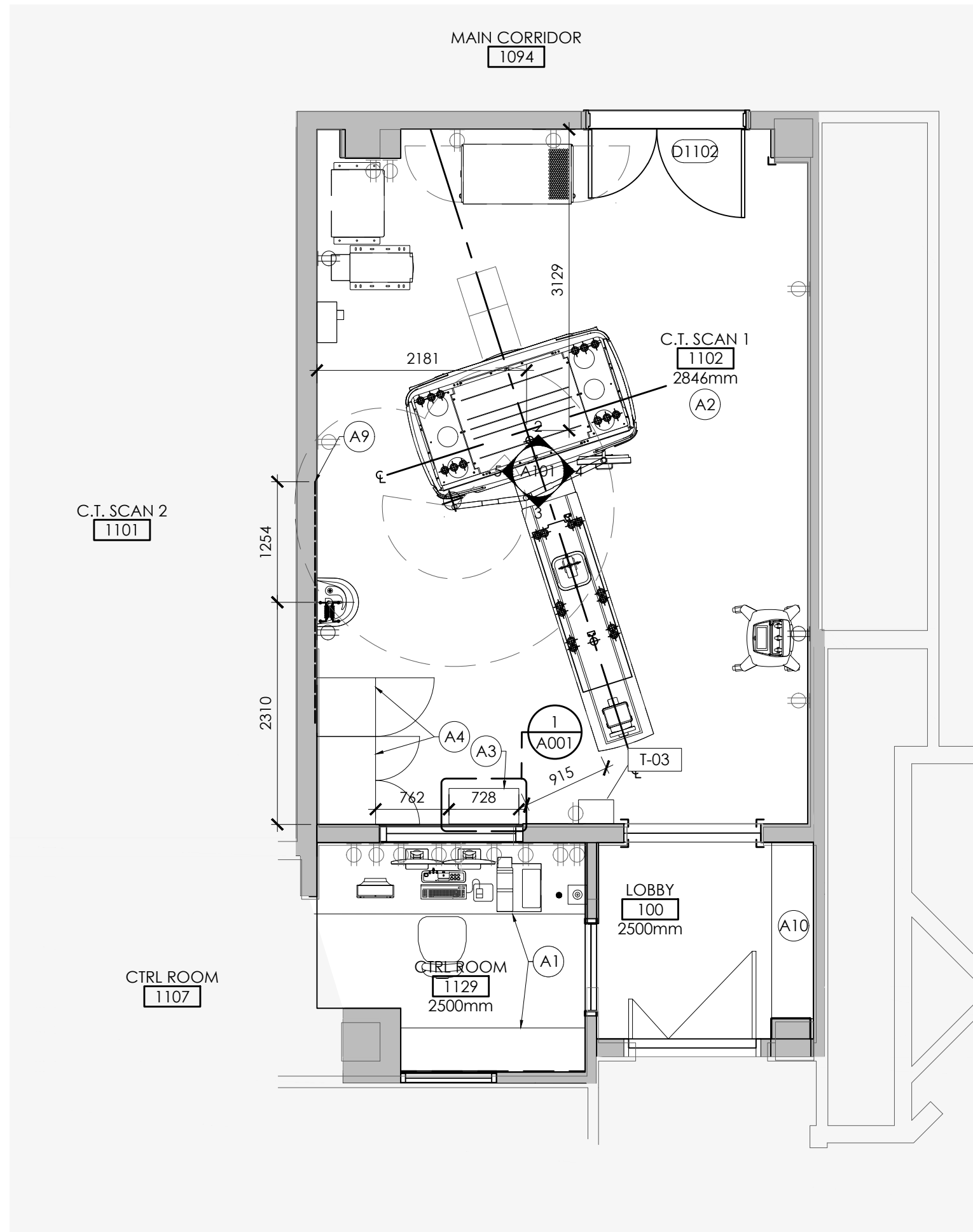
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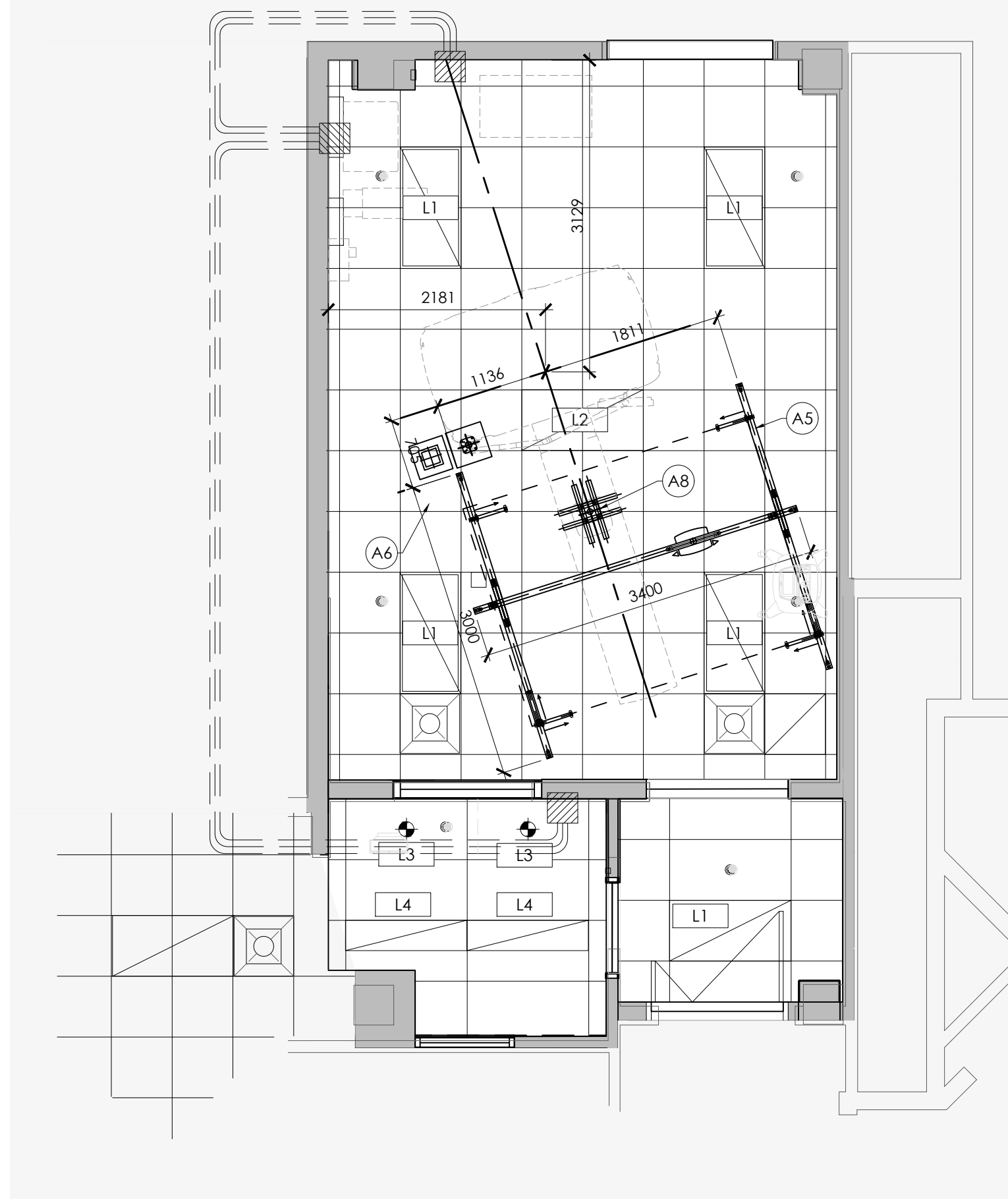
1 DEMOLITION PLAN
A100 SCALE: 1:50



3 DEMOLITION
REFLECTED CEILING PLAN
A100 SCALE: 1:50



2 CONSTRUCTION PLAN
A100 SCALE: 1:50



4 CONSTRUCTION
REFLECTED CEILING PLAN
A100 SCALE: 1:50

LEGEND - DEMOLITION PLAN

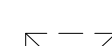
- | | |
|---|---|
|  | EXISTING PARTITION TO BE DEMOLISHED |
|  | EXISTING PARTITION TO REMAIN |
|  | EXISTING DOOR AND FRAME TO BE REMOVED IN ITS ENTIRETY |
|  | EXISTING DOOR AND FRAME TO REMAIN |
|  | OUT OF SCOPE |

LEGEND - CONSTRUCTION PLAN

- NEW PARTITION, SEE WALL ASSEMBLY SCHEDULE
- EXISTING DOOR AND FRAME TO REMAIN
- NEW DOOR AND FRAME
- EXISTING WINDOW TO REMAIN
- DOOR TAG

ROOM NAME	ROOM NAME
000	ROOM NUMBER
0000mm	CEILING HEIGHT

LEGEND - REFLECTED CEILING PLAN

- 
- EXISTING SUSPENDED ACOUSTICAL CEILING TO BE DEMOLISHED
- 
- EXISTING MECHANICAL GRILL TO BE REMOVED. REFER MECH.
- 
- EXISTING LIGHT FIXTURE TO BE REMOVED. REFER ELEC.

- EXISTING PARTITION TO REMAIN
- OUT OF SCOPE

LEGEND - CONSTRUCTION REFLECTED CEILING PLAN

- CL1 : NEW SUSPENDED ACOUSTICAL PANEL CEILING
- NEW CEILING AIR DIFFUSER
- EXISTING WALL
- NEW WALL PARTITION
- OUT OF SCOPE

DEMOLITION KEYNOTES

- (D1) EXISTING CT SCAN TO BE REMOVED.
- (D2) EXISTING DOOR TO BE REMOVED. FRAME TO BE KEPT.
- (D3) EXISTING MILLWORK TO BE REMOVED.

CONSTRUCTION KEYNOTES - CONSTRUCTION PLAN

- (A1) EXISTING MILLWORK TO BE REFINISHED WITH NEW LAMINATE M02. REFER TO SPECIFICATIONS.
- (A2) PROVIDE SELF-LEVELING FLOOR UNDERLAYMENT TO ACHIEVE SUBFLOOR FLATNESS. NO MORE THAN 6mm OVER 3000mm
- (A3) NEW MILLWORK. REFER TO MILLWORK DETAILS.
- (A4) NEW FURNITURE CABINET. PURCHASED AND INSTALLED BY CLIENT.
- (A5) NEW PATIENT LIFT.
- (A6) NEW MONITOR ARM.
- (A7) NOT USED.
- (A8) CEILING MOUNTED CAMERA
- (A9) PROVIDE WOOD BACKING TO HANG SINK AND ACCESSORIES.
- (A10) EXISTING LOCKERS TO REMAIN

GENERAL NOTES - DEMOLITION PLAN

1. THE CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE ALL EXISTING SURFACES AND CONDITIONS AND OBTAIN ALL INFORMATION CONCERNING PORTIONS TO BE DEMOLISHED OR PARTIALLY DEMOLISHED. TO ALLOW IDENTIFICATION AND CONNECTION OF NEW WORK OR REQUIRED RENOVATION OF EXISTING PREMISES AS SHOWN, THE CONTRACTOR SHALL ALSO WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DIMENSIONS ON THE PLANS. NO CLAIM WILL BE ENTERTAINED THAT IS BASED ON EXISTING SITE CONDITIONS THAT COULD REASONABLY HAVE BEEN ASCERTAINED BY THE CAREFUL EXAMINATION OF THE SITE.
2. THE CONTRACTOR SHALL CAREFULLY PROTECT SURFACES AND FURNITURE THAT WILL BE SUBJECT TO DAMAGE AND SOLING. ANY DAMAGES CAUSED BY REMOVAL OR DEMOLITION WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE ARCHITECT'S SATISFACTION.
3. BEFORE DEMOLITION BEGINS, THE CONTRACTOR SHALL CONSULT WITH THE OWNER FOR STORAGE OF ELEMENTS THAT ARE NOT TO BE RELOCATED AND/OR KEPT. ANYTHING DEEMED SALVAGEABLE BY BUILDING OWNER SHALL BE KEPT AND PLACED IN STORAGE. THE REMAINDER SHALL BE DISPOSED OF (REMOVED FROM SITE).
4. ALL NON-REUSABLE ITEMS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS AND SENT TO APPROPRIATE RECYCLING FACILITIES. REUSABLE MATERIALS ARE TO BE STORED ON SITE IN AN ORDERLY MANNER WITH THE ARCHITECT'S CONSENT.
5. WALLS THAT ARE TO BE PARTIALLY DEMOLISHED SHALL BE LEFT IN A CLEAN AND ACCEPTABLE STATE. LEVEL, AND FLUSH. WALLS ARE TO BE DEMOLISHED TO THE CLOSEST STUD WITHOUT GOING UNDER THE DIMENSION INDICATED ON PLAN. THE GYPSUM BOARDS SHALL BE CUT IN A STRAIGHT VERTICAL LINE.
6. DAMAGED WALL, FLOOR OR CEILING SECTIONS THAT WILL NOT RECEIVE NEW CONSTRUCTION SHALL BE REPAIRED WITH THE SAME MATERIALS AND IN THE SAME MANNER AS ADJACENT SURFACES TO ENSURE A UNIFORM FINISH.
7. REPAIR AND PATCH ALL SURFACES AFFECTED BY DEMOLITION TO MATCH NEW FINISHES. SUBMIT TYPE OF PATCHING COMPOUNDS AND REPAIR METHODS TO ARCHITECT FOR APPROVAL.
8. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NOT TO CAUSE DAMAGE TO BASE BUILDING SURFACES AND FINISHES. ANY DAMAGES CAUSED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

GENERAL NOTES - CONSTRUCTION PLAN

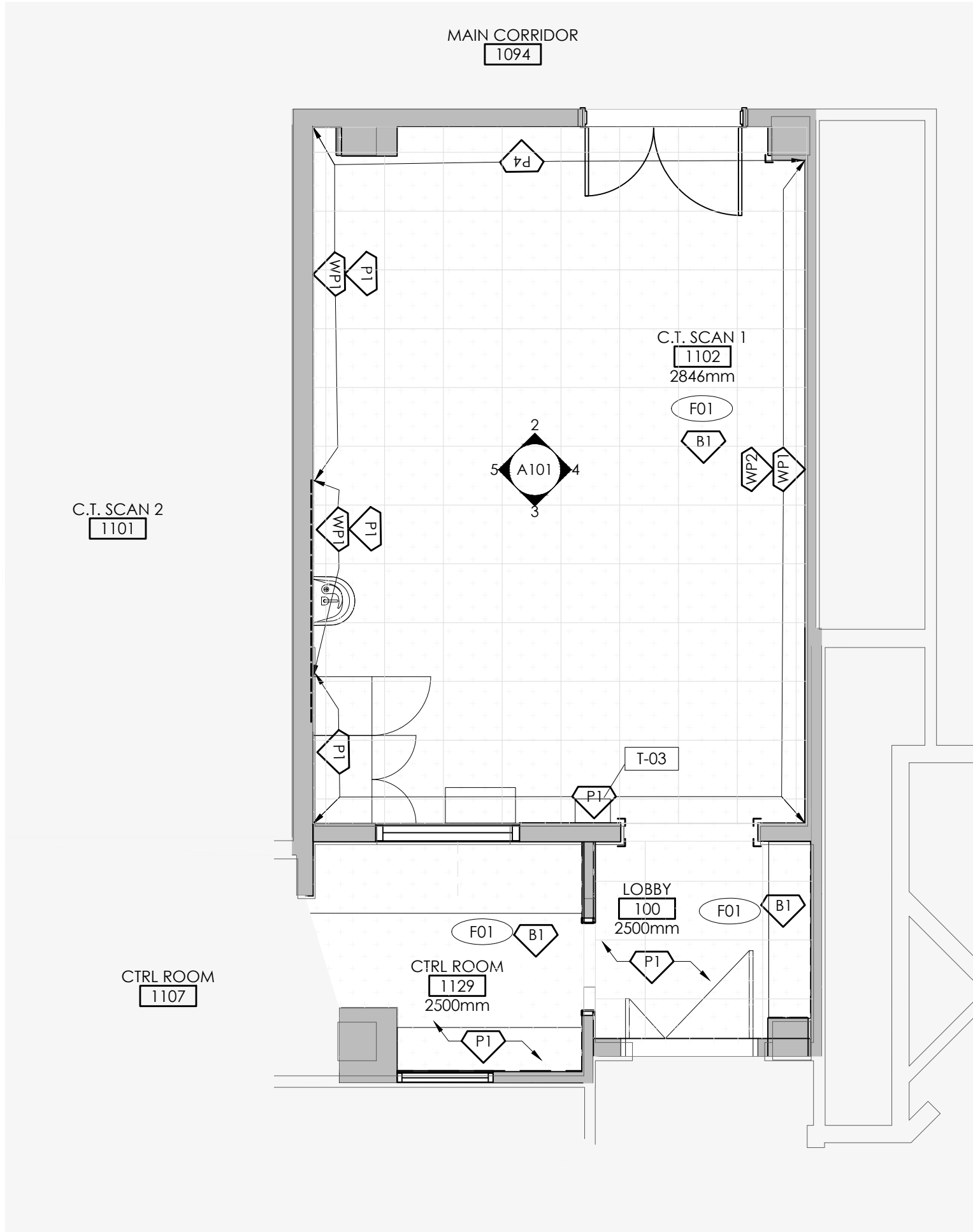
1. THESE ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE ALARM, ACCESS CONTROL, AND SECURITY DRAWINGS AND ALL RELEVANT SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS; FOLLOW THE DIMENSIONS AND INSTRUCTIONS GIVEN.
3. ONLY MATERIALS APPROVED IN WRITING BY THE ARCHITECT ARE ALLOWED ON SITE. ANY SPECIFICATIONS OF MATERIALS TO ACCELERATE THE WORK DURING CONSTRUCTION REQUIRES WRITTEN APPROVAL OF BOTH THE OWNER AND THE ARCHITECT.
4. COMPLETE INSTALLATION SHALL BE SMOOTH, LEVEL, AND PLUMB, FREE FROM WAVES AND OTHER DEFECTS, AND READY TO ACCEPT SPECIFIED FINISHES.
5. EXISTING COLUMNS AND WALLS TO BE PATCHED AND MADE GOOD TO RECEIVE SPECIFIED FINISH.
6. DO NOT APPLY GYPSUM BOARD UNTIL ANCHORS, BLOCKING, ELECTRICAL, AND MECHANICAL WORK HAVE BEEN INSPECTED AND APPROVED BY THE AHJ.
7. ALL WALLS USED TO SUPPORT MILLWORK SHALL HAVE MIN. 19 mm PLYWOOD BACKING INSTALLED BETWEEN STUDS OF A SUFFICIENT SIZE AND STRENGTH TO SUPPORT THE LOADS WITH APPROPRIATE FASTENERS.
8. GC RESPONSIBLE FOR NEGATIVE AIR, HOARDING, NEGATIVE AIR MONITORING AS PER CSA Z317 STANDARDS.
9. ENSURE NEW PARTITIONS MEET WALL TRANSMISSION CLASS (STC) REQUIREMENTS FOR VARIOUS ROOM TYPES (SEE TABLE 12.1 OF THE LATEST CSA 78000-11 CANADIAN HEALTH CARE FACILITIES STANDARDS).

GENERAL NOTES - REFLECTED CEILING PLAN

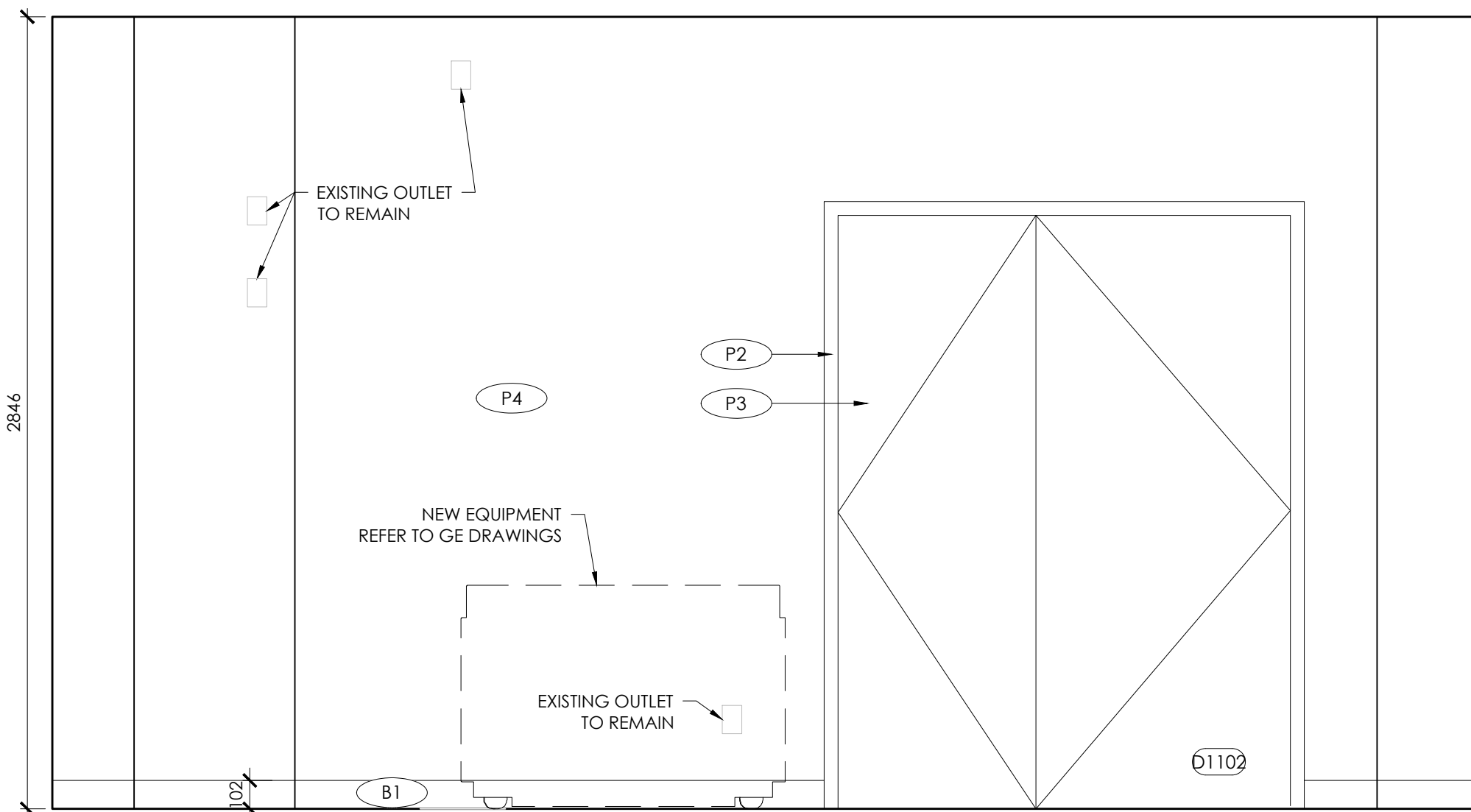
1. THE CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE ALL EXISTING SURFACES AND CONDITIONS AND OBTAIN ALL INFORMATION CONCERNING SURFACES TO BE DEMOLISHED OR PARTIALLY DEMOLISHED, TO ALLOW FOR PROPER AND SAFE REMOVAL OF ANY WORK OR REMOVAL/RENOVATION OF EXISTING PREMISES AS SHOWN. THE CONTRACTOR SHALL ALSO WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DIMENSIONS ON THE PLANS. NO CLAIM WILL BE ENTERTAINED THAT IS BASED ON EXISTING SITE CONDITIONS THAT COULD REASONABLY HAVE BEEN ASCERTAINED BY THE CAREFUL EXAMINATION OF THE EXISTING SITE.
2. THE CONTRACTOR SHALL CAREFULLY PROTECT SURFACES AND FURNITURE THAT WILL BE SUBJECT TO DAMAGE AND SOLING. ANY DAMAGES CAUSED BY REMOVAL OR DEMOLITION WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE ARCHITECT'S SATISFACTION.
3. BEFORE THE CONTRACTOR SHALL CONSULT WITH THE OWNER FOR THE PROPER STORAGE OF ELEMENTS THAT ARE NOT TO BE RELOCATED AND/OR KEPT. ANYTHING DEEMED SALVAGEABLE BY BUILDING OWNER SHALL BE KEPT AND PLACED IN STORAGE. THE REMAINDER SHALL BE DISPOSED OF (REMOVED FROM SITE).
4. ALL NON-REUSABLE ITEMS AND DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS AND SENT TO APPROPRIATE RECYCLING FACILITIES. REUSABLE MATERIALS ARE TO BE STORED ON SITE IN AN ORDERLY MANNER WITH THE ARCHITECT'S CONSENT.
5. WALLS THAT ARE TO BE PARTIALLY DEMOLISHED SHALL BE LEFT IN A CLEAN AND ACCEPTABLE STATE, LEVEL, AND FLUSH. WALLS ARE TO BE DEMOLISHED TO THE CURB OF THE WALL AND WITHOUT LEAVING UNDER THE DIMENSION INDICATED ON PLAN. THE GYPSUM BOARDS SHALL BE CUT IN A STRAIGHT VERTICAL LINE.
6. DAMAGED WALL, FLOOR OR CEILING SECTIONS THAT WILL NOT RECEIVE NEW CONSTRUCTION SHALL BE REPAIRED WITH THE SAME MATERIALS AND IN THE SAME MANNER AS ADJACENT SURFACES TO ENSURE A UNIFORM FINISH.
7. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO MATCH NEW FINISHES. SUBMIT TYPE OF PATCHING COMPOUNDS AND REPAIR METHODS TO ARCHITECT FOR APPROVAL.
8. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NOT TO CAUSE DAMAGE TO BASE BUILDING SURFACES AND FINISHES. ANY DAMAGES CAUSED SHALL BE REPAIRED TO THE ORIGINAL CONDITION. THE CONTRACTOR SHALL PRESENT A FINISHED SURFACE APPROPRIATE TO THE NATURE OF THE SPACE. ALLOW ACCESS TO EQUIPMENT WHERE NECESSARY; AND LIMIT THE TRANSMISSION AND/OR REFLECTION OF SOUND FROM THE NEARBY NECESSARY FOR PATIENT, VISITOR OR STAFF WELL-BEING. (7.2.2.3)
9. CEILING ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT CONTAMINATION OF PATIENTS AND RESIDENT AREAS BY FALLING DUST AND DEBRIS. PRESENT A FINISHED SURFACE APPROPRIATE TO THE NATURE OF THE SPACE. ALLOW ACCESS TO EQUIPMENT WHERE NECESSARY; AND LIMIT THE TRANSMISSION AND/OR REFLECTION OF SOUND FROM THE NEARBY NECESSARY FOR PATIENT, VISITOR OR STAFF WELL-BEING. (7.2.2.3)
10. CEILING ASSEMBLIES SHALL BE CONSTRUCTED TO PREVENT CONTAMINATION OF PATIENTS AND RESIDENT AREAS BY FALLING DUST AND DEBRIS. PRESENT A FINISHED SURFACE APPROPRIATE TO THE NATURE OF THE SPACE. ALLOW ACCESS TO EQUIPMENT WHERE NECESSARY; AND LIMIT THE TRANSMISSION AND/OR REFLECTION OF SOUND FROM THE NEARBY NECESSARY FOR PATIENT, VISITOR OR STAFF WELL-BEING. (7.2.2.3)
11. THE CONTRACTOR SHALL MAINTAIN A CLEARANCE OF 600 mm (24") CLEAR PLENUM SPACE IS MAINTAINED ABOVE THE DROP CEILING THROUGHOUT THE DESIGNATED AREAS. THIS CLEARANCE IS REQUIRED FOR THE PROPER INSTALLATION AND MAINTENANCE OF MECHANICAL, ELECTRICAL, AND COMMUNICATION SYSTEMS. COORDINATE WITH ALL RELEVANT TRADES TO AVOID CONFLICTS IN THE SPACE.
12. ENSURE THAT ALL WORK COMPLIES WITH THE LATEST CSA 28800-2024 CANADIAN HEALTH CARE FACILITIES STANDARDS.

5	26-08-03	ISSUED FOR TENDER	E
4	26-07-22	BUILDING PERMIT	D
3	26-07-03	90% CD	C
2	26-02-13	60%CD	B
1	26-01-16	30% CD	A
#	Date	Description	Rev

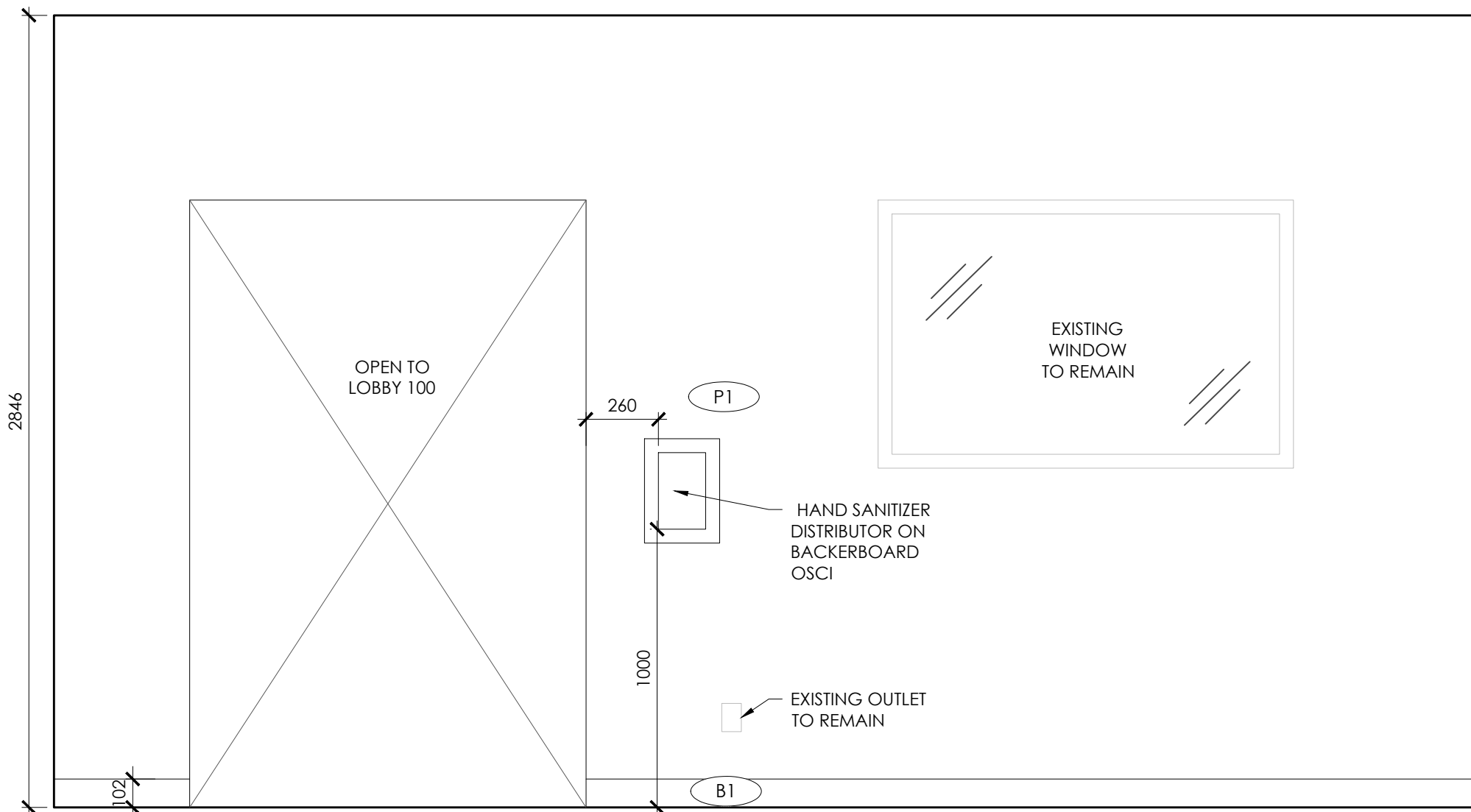
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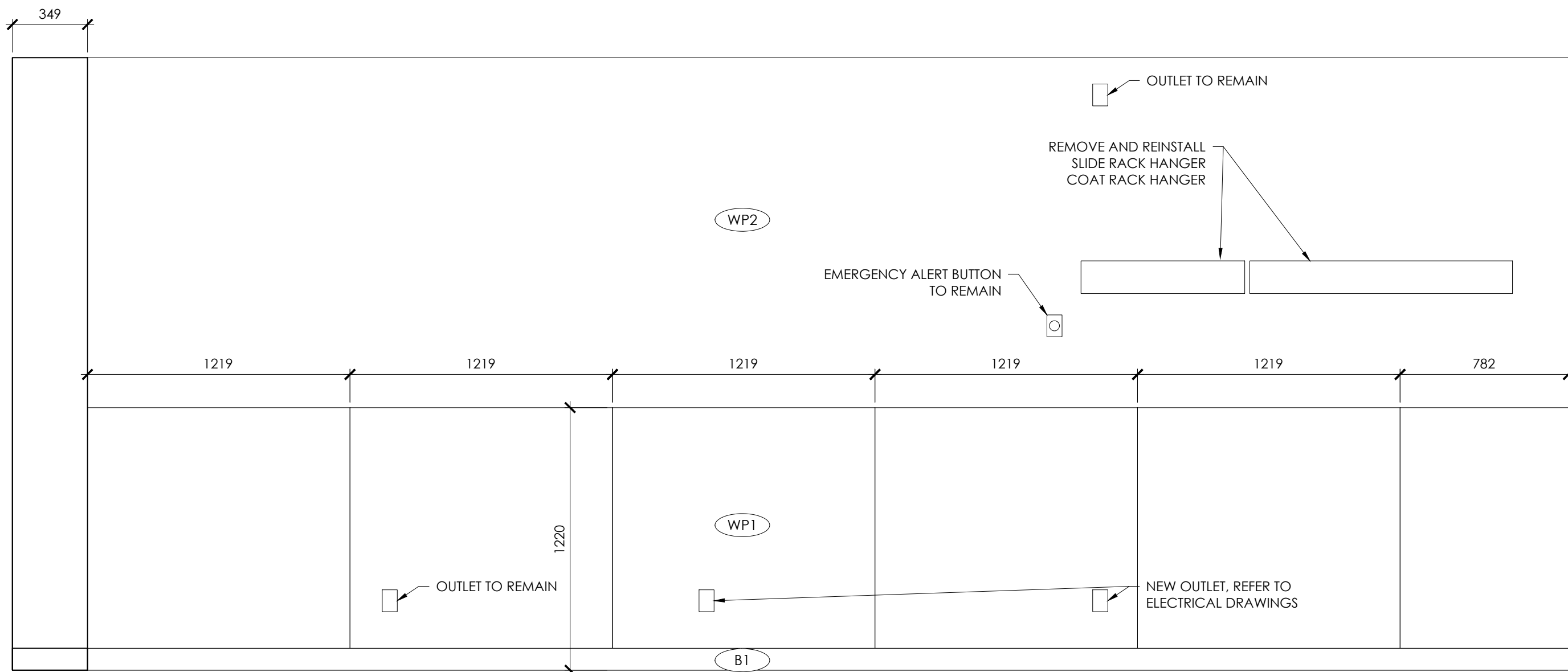
1 FINISHES CONSTRUCTION PLAN
A101 SCALE: 1:50



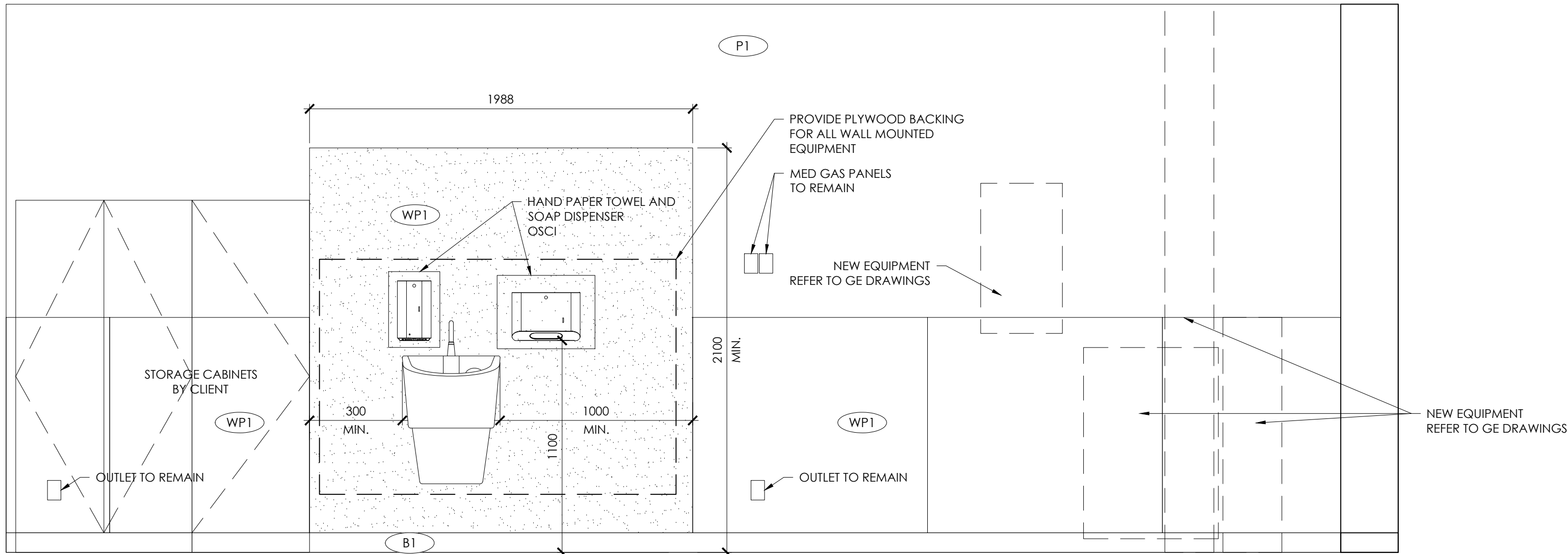
2 NORTH WALL INTERIOR ELEVATION
A101 SCALE: 1:50



3 SOUTH WALL INTERIOR ELEVATION
A101 SCALE: 1:50



4 ELEVATION WALL CLADDING
A400 SCALE: 1:20



5 ELEVATION HAND WASHING SINK
A400 SCALE: 1:20

- LEGEND
- P1 TYPE: WALL PAINT
COLOUR: LIGHT BLUE, REFER TO SPECIFICATIONS.
 - P2 TYPE: DOOR FRAME PAINT
COLOUR: OFF-WHITE, REFER TO SPECIFICATIONS.
 - P3 TYPE: DOOR PAINT
COLOUR: BEIGE, REFER TO SPECIFICATIONS.
 - P4 TYPE: ACCENT WALL PAINT
COLOUR: MEDIUM BLUE, REFER TO SPECIFICATIONS.
 - WP1 TYPE: WALL PROTECTION
COLOUR: TBD BY CLIENT, REFER TO SPECIFICATIONS.
 - WP2 TYPE: VINYL GRAPHIC, PURCHASED BY CLIENT, INSTALLED BY GC
COLOUR: TBD BY CLIENT, REFER TO SPECIFICATIONS.
 - WALL CORNER PROTECTION, REFER TO SPECIFICATIONS.
 - F01 TYPE: RESILIENT SHEET FLOORING
COLOUR: BEIGE
REFER TO SPECIFICATIONS.
 - B1 TYPE: 102mm COVE BASE MATCHING FLOORING
REFER TO SPECIFICATIONS.

- GENERAL NOTES
- PROVIDE ALL MATERIALS, LABOUR, EQUIPMENT, AND SERVICES AS NECESSARY TO COMPLETE THE WORK AS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS.
 - CONTRACTOR TO CONFIRM ALL COLOURS, FINISHES, AND MATERIALS SPECIFIED WITH ARCHITECT.
 - ALL SURFACES TO RECEIVE PAINT FINISH SHALL BE CLEANED AND PREPARED AS REQUIRED AND AS PER MANUFACTURER'S RECOMMENDATIONS. PAINT TO BE APPLIED ON TOP OF EXISTING COAT. PATCH AND REPAIR ALL HOLES AND DAMAGE ON THE WALLS. ALL WALLS TO BE PAINTED P1, UNO.
 - REMOVE AND STORE FOR REINSTALLATION, ALL COVER PLATES, SURFACE HARDWARE, ETC. PRIOR TO THE PREPARATION OF WALLS RECEIVING PAINT FINISH.
 - FINISHED WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH, AND FREE FROM RUNS, SAGS, CLOGGING, OR EXCESS FLOODING.
 - MAKE EDGE OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN, WITHOUT OVERLAPPING.
 - AT COMPLETION, TOUCH-UP AND RESTORE SURFACES WHERE DAMAGED. LEAVE FINISHED SURFACES IN GOOD CONDITION.
 - FLOORS SHALL BE SEAMLESS AND COVED AT WALLS. DO NOT INSTALL ON CERAMIC TILE AND BEHIND MILLWORK.
 - WALLS SHALL BE EQUIPPED WITH BASE PROTECTION WHERE NEEDED TO PREVENT DAMAGE FROM WHEELED ITEMS.
 - MATERIALS AND FINISHES SHALL BE APPROPRIATE TO THE LOCATION AND USE.
 - SURFACES THAT WILL BE EXPOSED TO CLEANING OR OTHER SOURCES OF MOISTURE SHALL BE OF SEAMLESS AND INTEGRAL CONSTRUCTION, MOISTURE-IMPERVIOUS, AND COMPATIBLE WITH INDUSTRY-STANDARD DISINFECTANTS AND THEIR APPLICATION PROCEDURES USED FOR ENVIRONMENTAL CLEANING AND DISINFECTION. CELLULOSE-BASED MATERIALS SHALL NOT BE USED FOR SURFACES THAT ARE SUBJECT TO WEAR OR EXCESSIVE MOISTURE (7.2.1.1.2).
 - THE FLAME-SPREAD AND SMOKE-DEVELOPED RATINGS OF FINISHES SHALL COMPLY WITH APPLICABLE REQUIREMENTS. THE USE OF MATERIALS KNOWN TO PRODUCE LARGE AMOUNTS OF NOXIOUS GASES WHEN BURNED SHALL BE AVOIDED (7.2.1.2).
 - COLOURS, PATTERNS, AND FINISHES SHALL BE APPROPRIATE TO THE ANTICIPATED AGE AND TYPE OF PATIENT, INCLUDING FEATURES THAT RELATE TO COGNITIVE ABILITIES AND MOBILITY ISSUES. COLOURS AND TEXTURES IN STAFF WORK AREAS AND STAFF LOUNGE AREAS SHOULD BE CONDUCIVE TO THE ACTIVITIES IN THOSE AREAS. CERTAIN COLOURS AND PATTERNS CAN BE DISTURBING TO SOME PATIENTS. BOLD PRIMARIES AND GREEN SHOULD BE AVOIDED WHERE CLINICAL OBSERVATION IS PART OF THE ASSESSMENT (E.G., IN CONSULTATION OR TREATMENT AREAS) (7.2.1.1.2).
 - ENSURE THAT ALL WORK COMPLIES WITH THE LATEST CSA Z8000-2024 CANADIAN HEALTH CARE FACILITIES STANDARDS.

architect

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#	Date	Description	Rev
5	26-08-03	ISSUED FOR TENDER	E
4	26-07-22	BUILDING PERMIT	D
3	26-07-03	90% CD	C
2	26-02-13	60%CD	B
1	26-01-16	30% CD	A

Issue

This drawing is the property of J. Robert Thibodeau Architecture + Design. A written approval by J.R.T.A.D. is required prior to any use of this drawing. Contractor must verify all dimensions on site and immediately inform the Architect of all errors and omissions.

BC-1372
UHN- DI CT 64 REPLACEMENT
1475 EDMONTON ST
PRINCE GEORGE, BC- V2M 1S2

seal

project number BC-1372

sheet title
DEMOLITION & CONSTRUCTION
FINISHES PLANS

date 2026-01-07
scale AS SHOWN
drawn by BSW
checked by MB

sheet number
A101
rev no. 01